

MA09/118

PROPOSED CONVERSION

OF OUTBUILDINGS

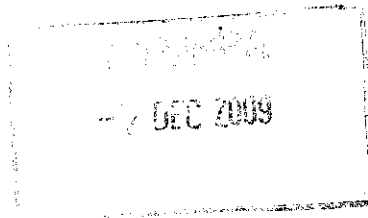
LADYSMITH FARM

STOUPE BROW

RAVENS CAR

FOR

MR T JONES



MAUGHAN ASSOCIATES

25 Alma Square
 Scarborough
 North Yorkshire
 YO11 1JR

Civil & Structural Design Engineers

Tel/Fax: [REDACTED]

27 November 2009

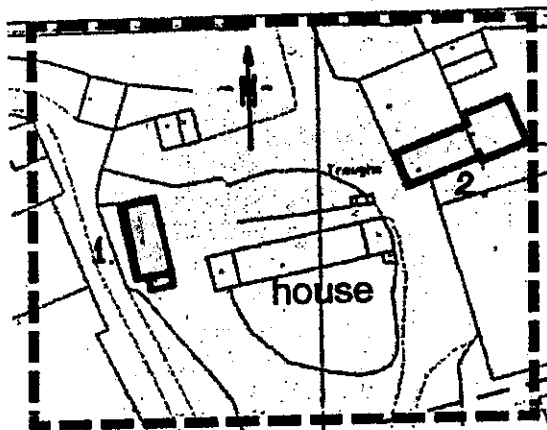
Mr T Jones
 Ladysmith Farm
 Stoupe Brow
 Ravenscar
 North Yorkshire

Ref: MA09/118

Dear Mr Jones,

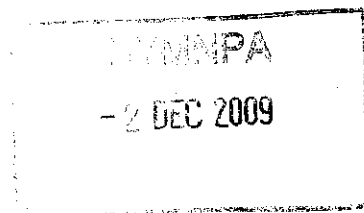
Re: Proposed Conversion of Outbuildings
Ladysmith Farm, Stoupe Brow, Ravenscar

As requested, I carried out an inspection of the outbuildings, identified below, on the 12th November 2009 to assess the structural condition of the buildings



1) **Building 1**

The building is approximately 11.5m long x 5.0m wide and is situated on a raised plateau area. A stone retaining wall, approximately 1.75m high, retains the west side of the raised area, and the building is sited approximately 1.75m away from the wall. The walls are random coursed stone and are 450mm thick.



R Maughan MIET

Established 1985

Re: Proposed Conversion of Outbuildings
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External

2) **East Elevation (Facing Courtyard)**

There are open joints to the stonework, but the wall is substantially plumb with no apparent signs of recent movement or distress. Re-pointing is required.

3) **North Gable**

Again, the wall is substantially plumb with no apparent signs of recent movement, but there are open joints and re-pointing is necessary.

4) **South Gable**

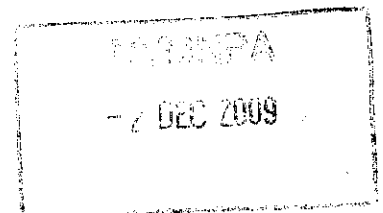
A significant tapered vertical crack is noted to the left hand section of this elevation, adjacent to the S. W. corner, indicating that serious settlement and lateral movement of the corner has taken place.

It is considered that the left hand third of the gable will need rebuilding off a new foundation and the remainder of the elevation underpinned to prevent future differential settlement.

5) **West Elevation (Facing access road)**

Due to the settlement the wall shows an outward belly for most of its' length, displaying an outward inclination of approximately 70mm. Again there is vertical cracking adjacent to the S.W. corner and it is clear that this corner is the main source of movement.

Although the severity of the outward movement diminishes towards the N. W. corner of the elevation it is considered that the whole of this elevation will need rebuilding, due to the difficulty of connecting vertical to 'out of plumb' stonework.



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6) **Internal**

Re-pointing to open joints and some stone repairs are required, but apart from the damage and defects noted to the South and West elevations, there are no apparent signs of any significant recent movement.

7) **Roof**

The roof contour is a little uneven, and an overhaul is required but the indications are that a large percentage of the timbers could be retained.

8) **Conclusion**

It is likely that the west section of this plateau area has been formed by placing fill material and that over the years, this relatively unstable founding material has settled causing the movement and damage noted. It is therefore recommended that the west elevation and part south gable be rebuilt off new foundations taken down to form virgin founding material. The outbuilding does, however, provide an adequate basis for conversion.

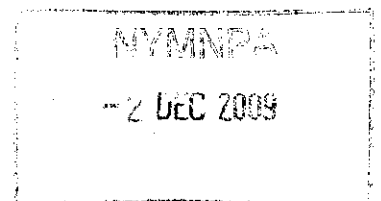
Outbuilding 2

9) **West Gable**

Re-pointing is necessary together with a small number of stone replacements, but the wall is substantially plumb and there are no apparent signs of recent movement.

10) **South Elevation**

There is an outward belly over the left hand side door opening, some old cracking to the right hand side of an old filled-in door opening, and a broken stone lintel over the door opening to the right hand end section, but the elevation is generally substantially plumb with no apparent signs of recent movement.



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The bellied section of stonework over the door needs to be rebuilt, the cracking cut out, broken stones cut out and made good, the damaged lintel replaced and all re-pointed. As there are narrow sections of stonework between the door openings to the right hand end section, it may be prudent to allow for some remedial underpinning.

11) **East Elevation**

This elevation is substantially plumb with no apparent signs of recent movement. The indications are that some re-pointing has been carried out in recent years.

12) **North Elevation**

The left hand section of this elevation is overgrown with vegetation and could not be inspected, but the whole elevation is substantially plumb with no apparent signs of recent movement. Deep pointing is required.

13) **Roof**

There are holes in the roof, the two supporting "trusses" to the east end section are inadequate and guttering is missing. An overhaul to the west end section of the building is required, but it is considered that the east end section needs re-roofing.

14) **Internal**

There are open joints and some decayed stones, but the walls are approximately 500mm thick and substantially plumb. Some repair works and deep re-pointing are required.

NYM/PA
 - 2 DEC 2009

Re: Proposed Conversion of Outbuildings
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15) **Conclusion**

There are some remedial works required to the building including partial re-roofing, but it is considered that this forms an adequate basis for conversion.

I trust that the above is adequate for your purpose but if you have any queries or require anything further please do not hesitate to contact me.

Yours sincerely,

A large, bold, black handwritten signature, likely 'R Maughan', is written over the typed name.

(R Maughan)

