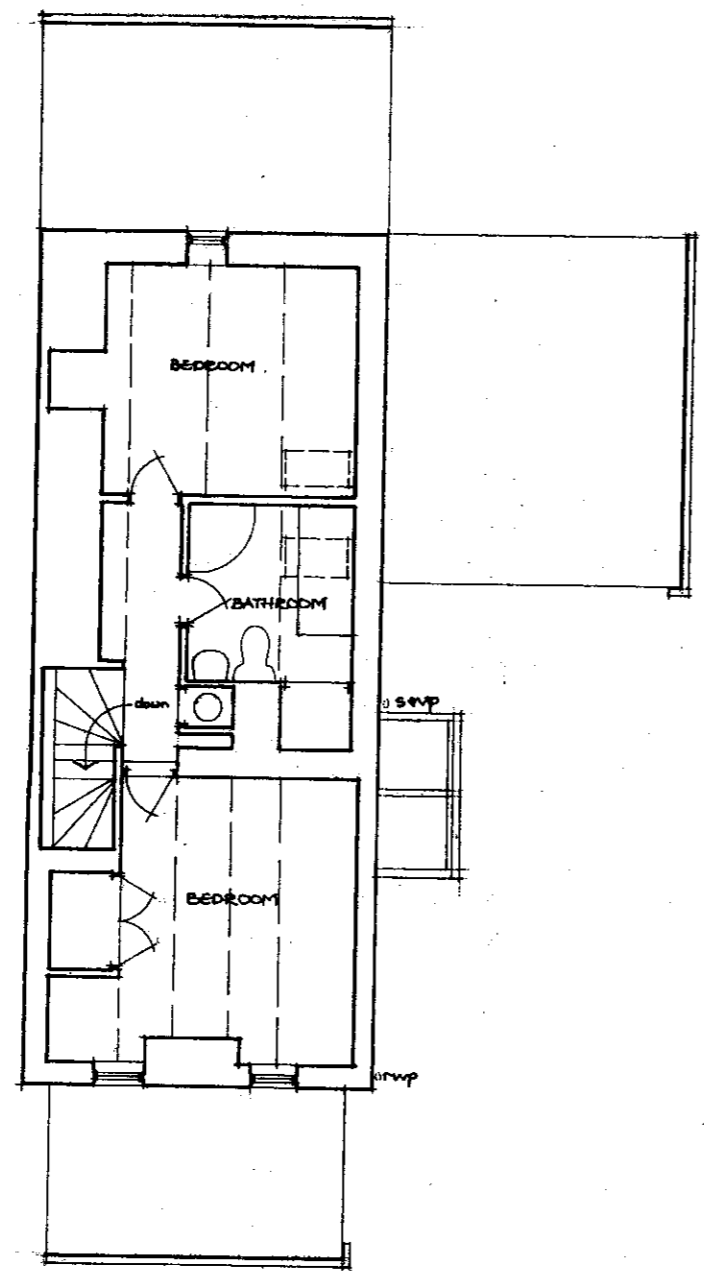
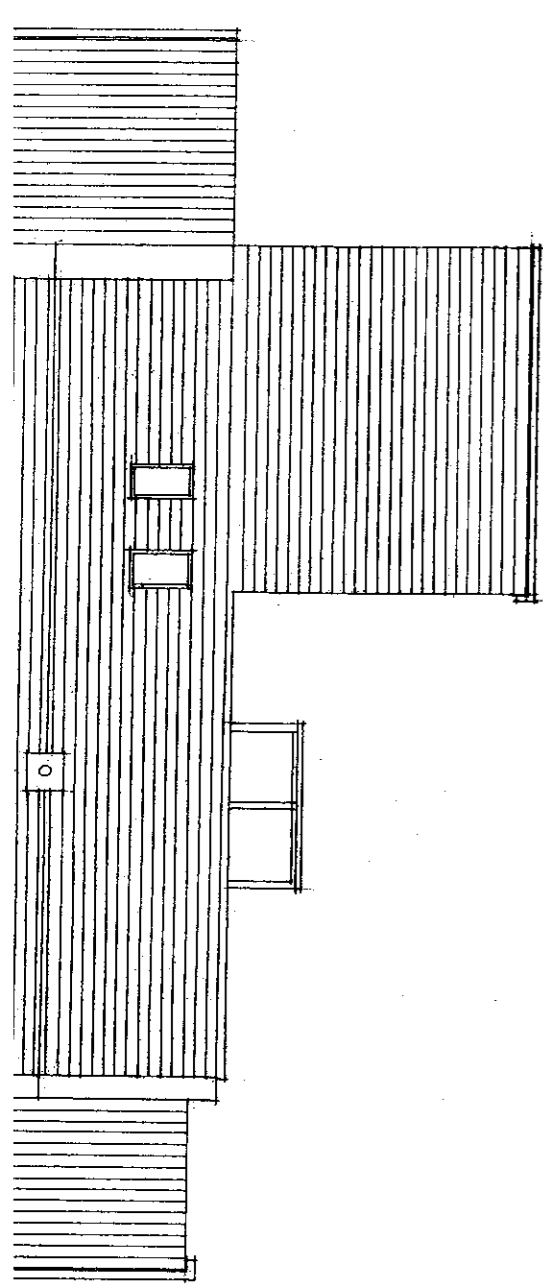
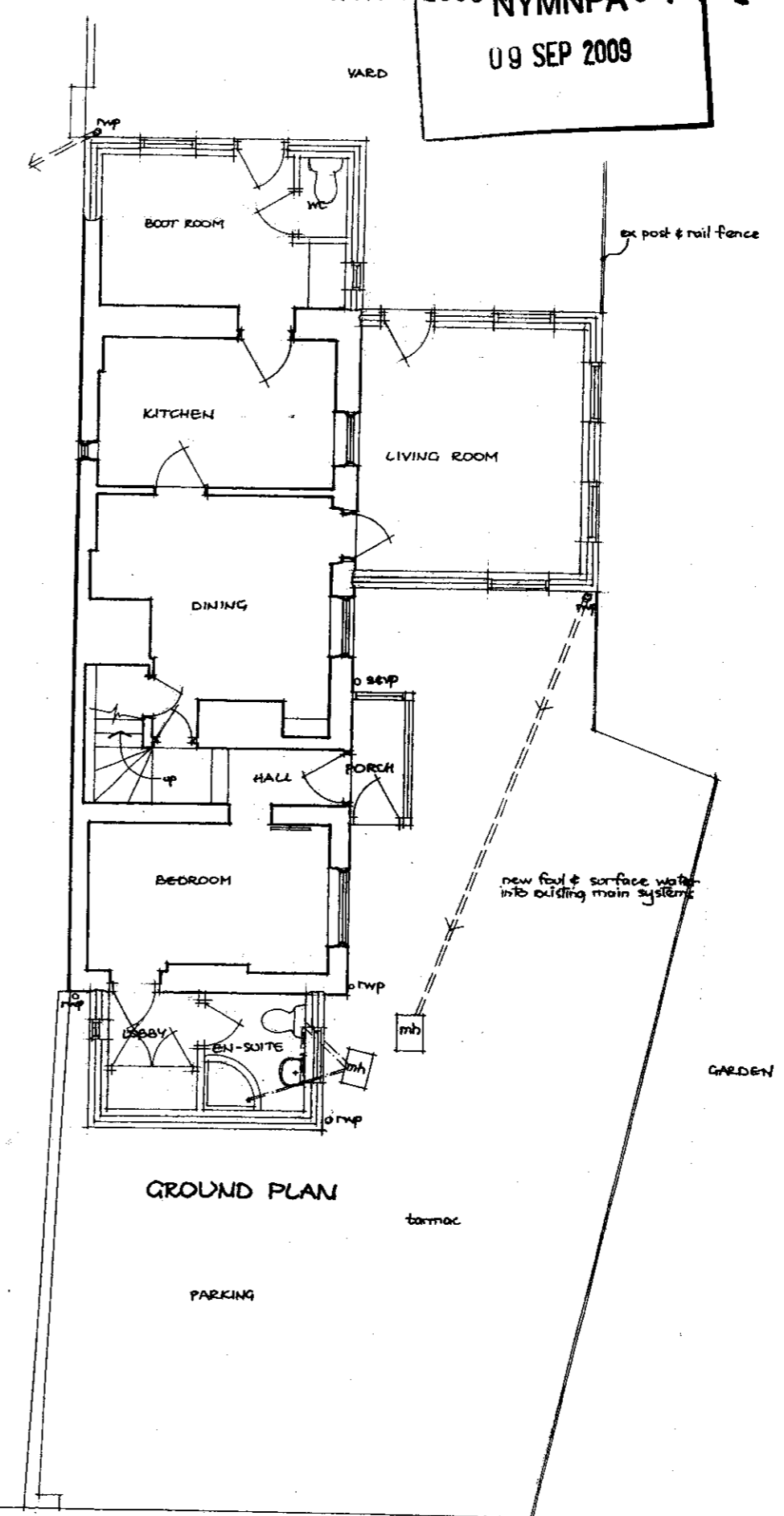


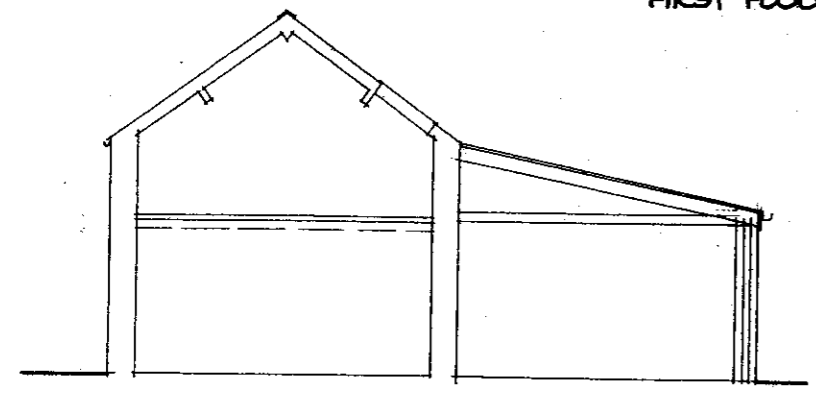
NYM 7 2009 NYMIPA 8 / F L  
 09 SEP 2009



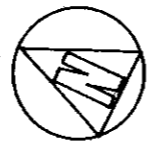
FIRST FLOOR PLAN



GROUND PLAN



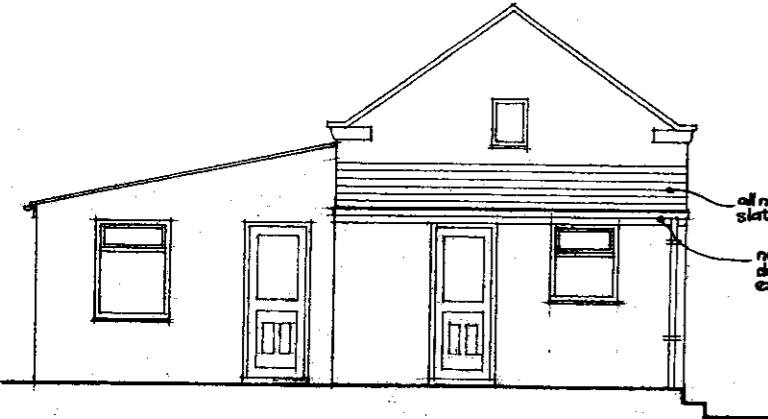
TYPICAL SECTION



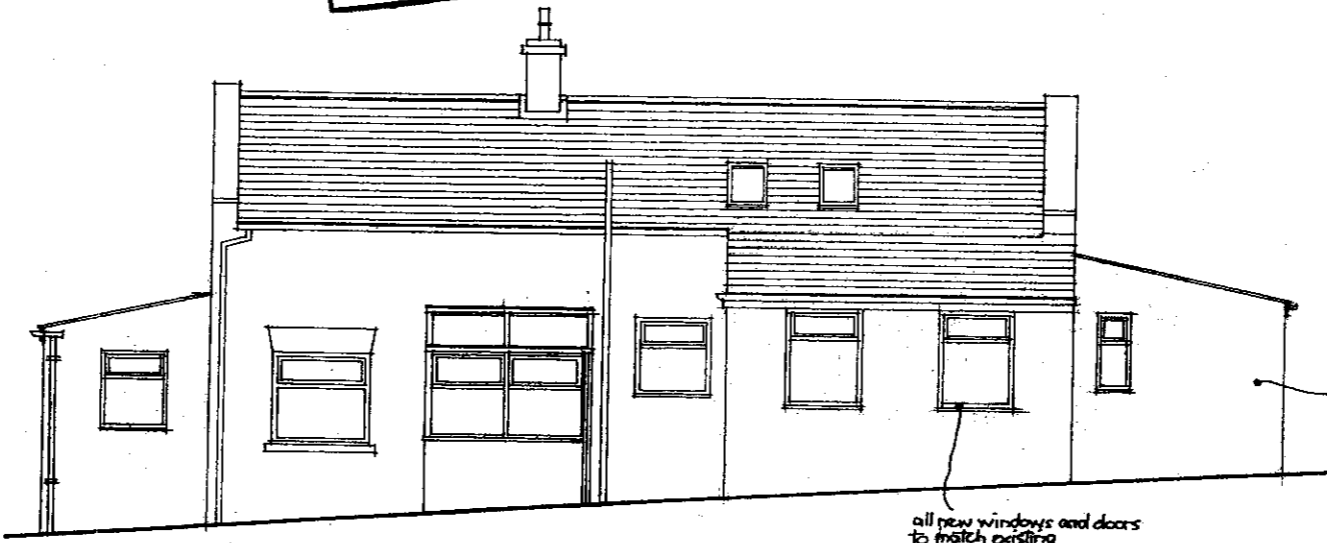
Proposed extensions to Dale View House, Stainsacre for  
 Mrs Sue Spencer. Drg. 9091.04.  
 Scheme plans. Scale 1:100.  
 Mike Swinglehurst, Architect. The Stables, Wigman Hall, Crockey Hill, York YO19 4SQ.

NYMNPA  
08 SEP 2009

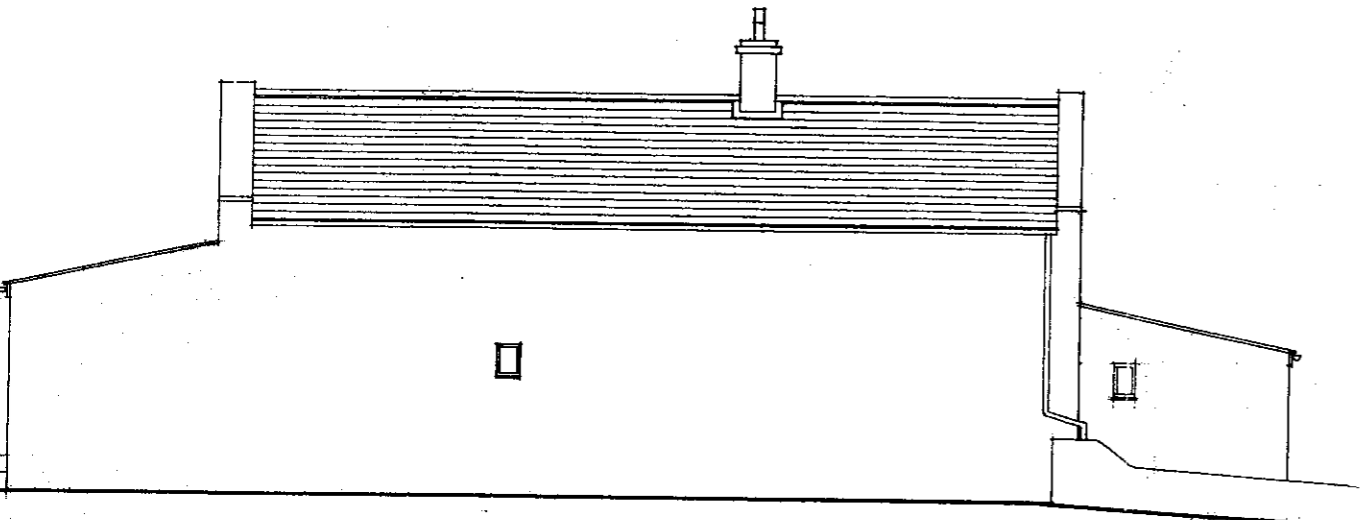
NYM / 2009 / 0618 / FL



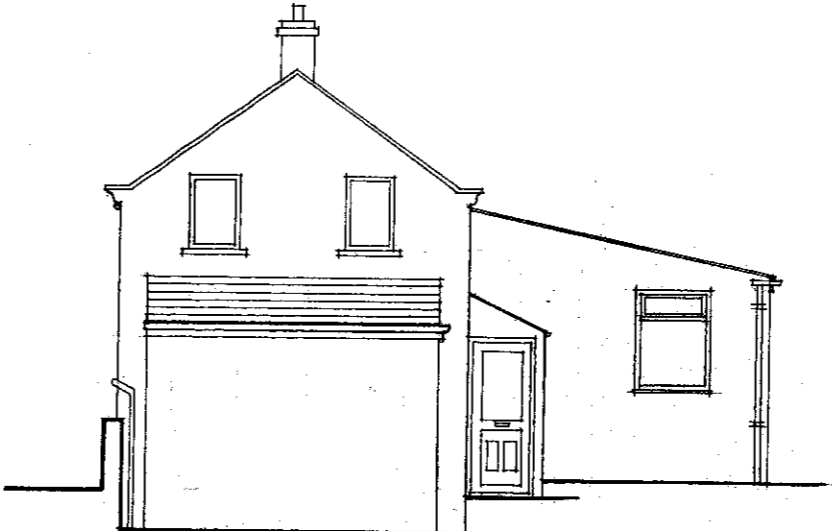
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

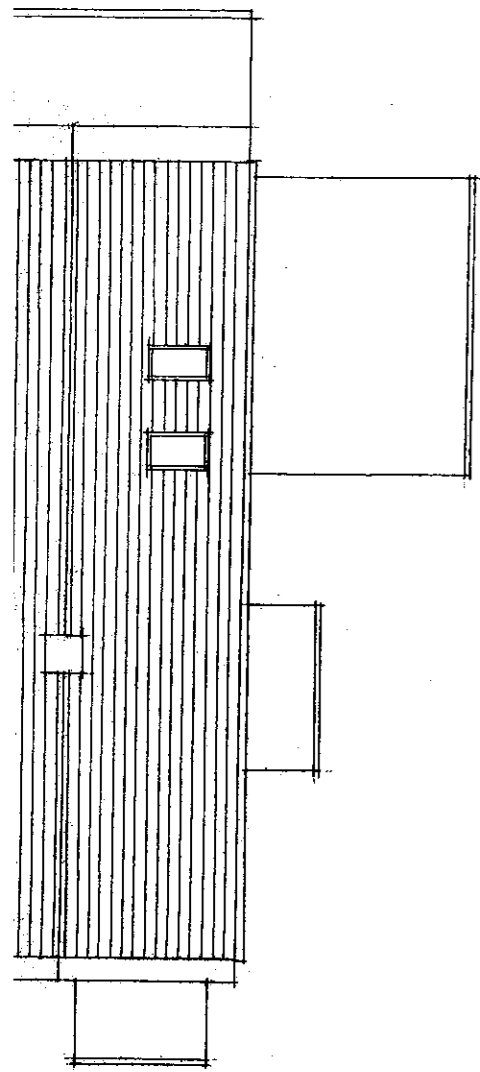


EAST ELEVATION

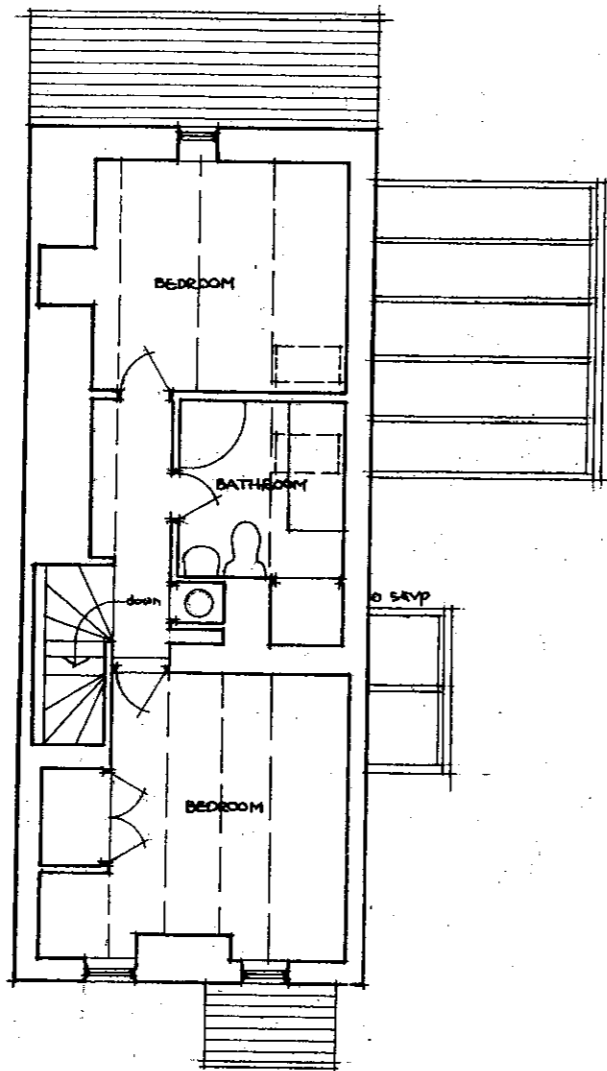
Proposed extensions to Dale View House, Stainsacre for  
Mrs Sue Spencer. Drg. 9091.05.  
Scheme elevations. Scale 1:100.  
Mike Swinglehurst, Architect. The Stables, Wigman Hall, Crockey Hill, York YO19 4SQ.

NYM / 2009 / 0618 / F2

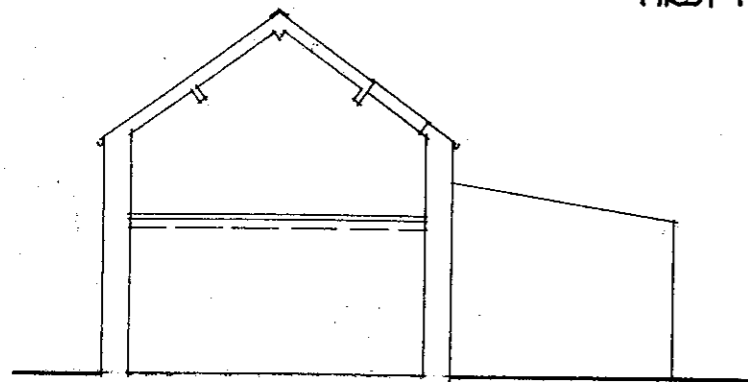
NYMNP  
08 SEP 2009



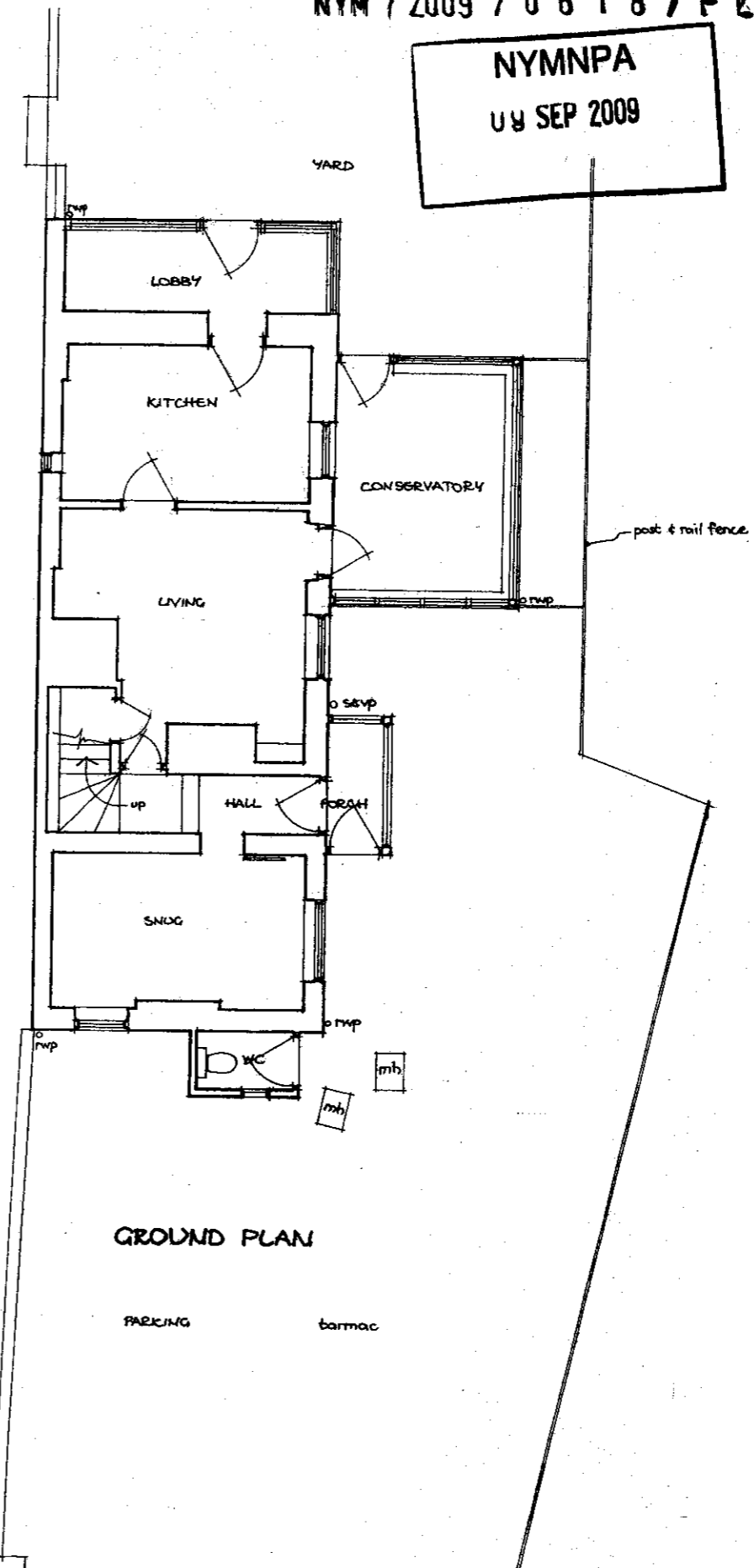
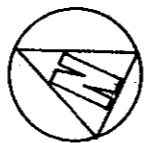
F PLAN



FIRST FLOOR PLAN



TYPICAL SECTION



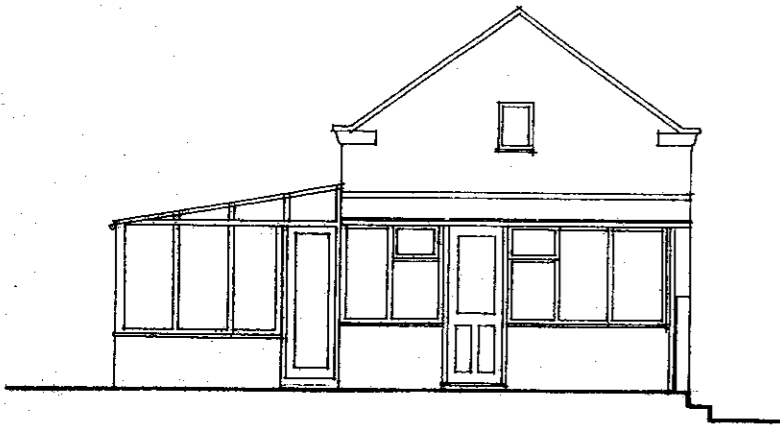
GROUND PLAN

Proposed extensions to Dale View House, Stainsacre for  
Mrs Sue Spencer. Drg. 9091.02.  
Survey plans. Scale 1:100.  
Mike Swinglehurst, Architect. The Stables, Wigman Hall, Crockey Hill, York YO19 4SQ.

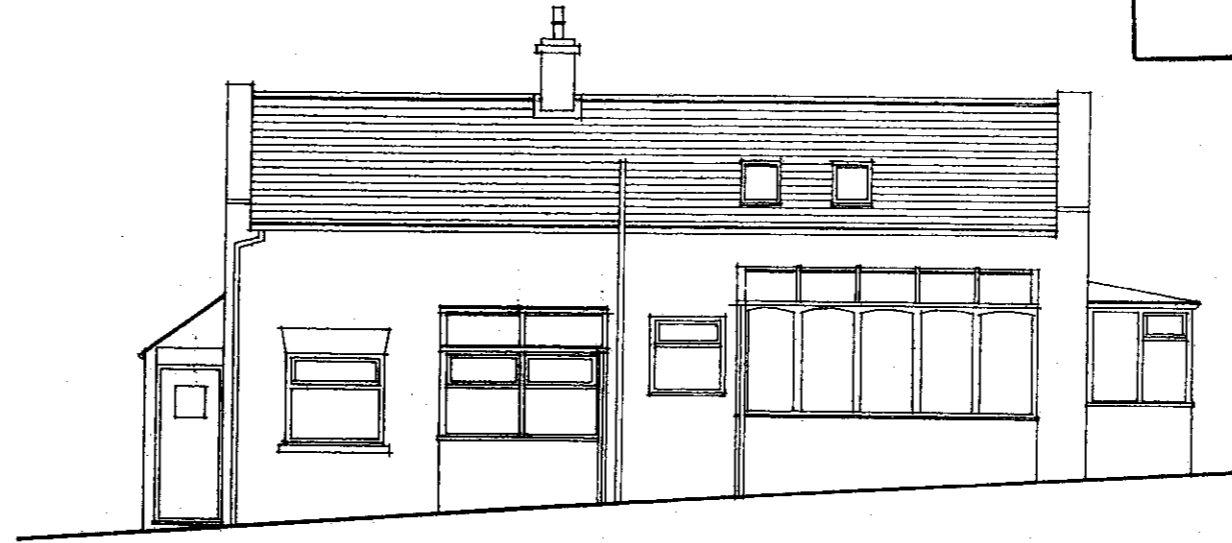
NYM / 2009 / 0618 / FL

NYMNP

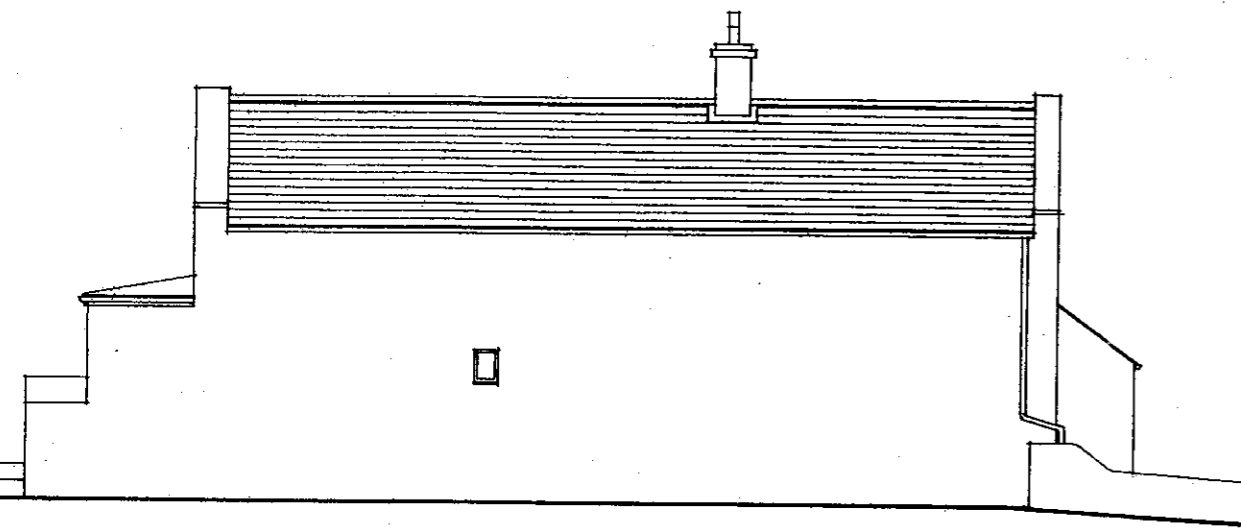
09 SEP 2009



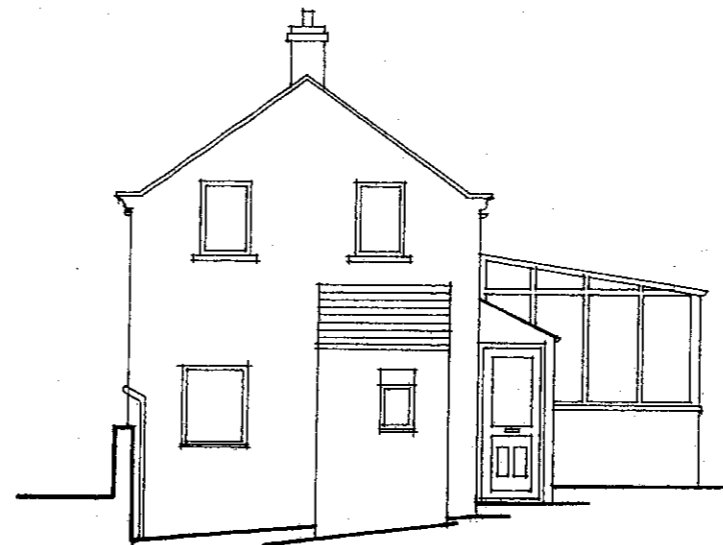
WEST ELEVATION



SOUTH ELEVATION



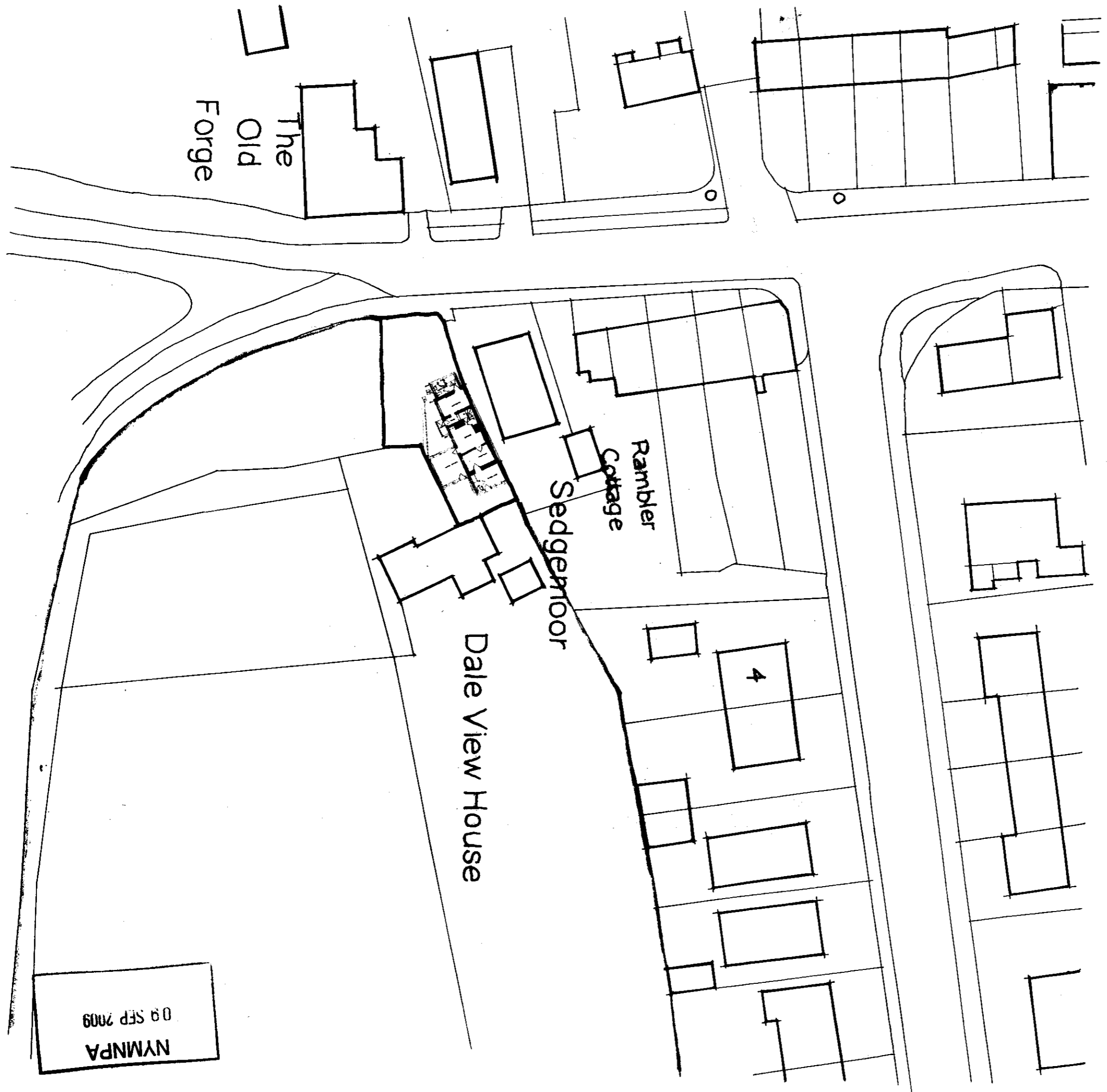
NORTH ELEVATION



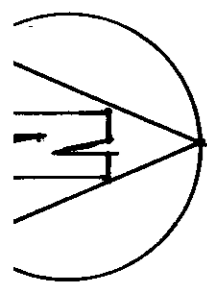
EAST ELEVATION

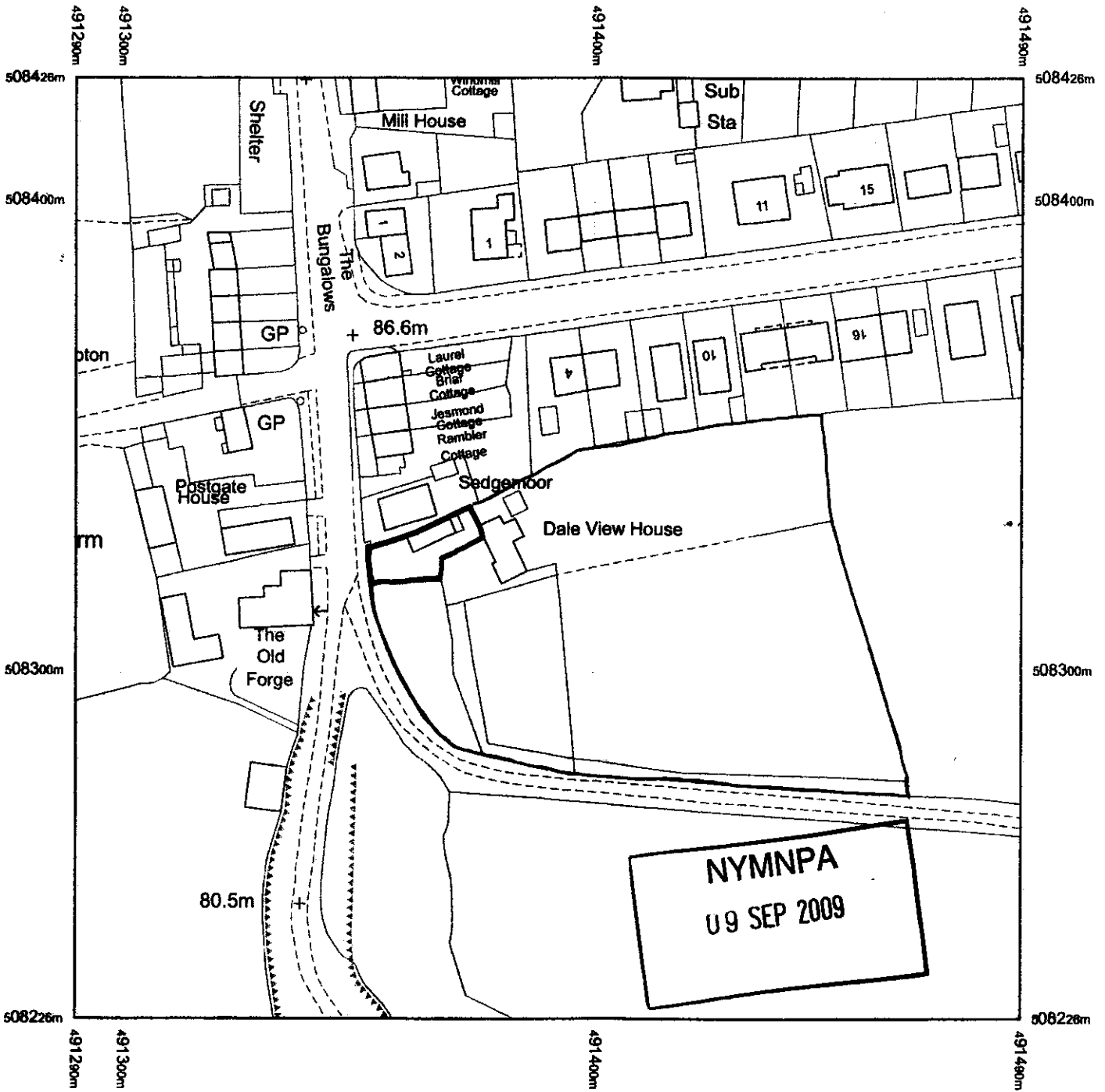
Proposed extensions to Dale View House, Stainsacre for  
Mrs Sue Spencer. Drg. 9091.03.  
Survey elevations. Scale 1:100.  
Mike Swinglehurst, Architect. The Stables, Wigman Hall, Crockey Hill, York YO19 4SQ.

NYM / 2009 / 0618 / F



NYMNP  
09 SEP 2009





Produced 20.05.2009 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. © Crown Copyright 2009.

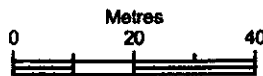
Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey.

Ordnance Survey, the OS Symbol and OS Sitemap are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain.

The representation of a road, track or path is no evidence of a right of way.

The representation of features as lines is no evidence of a property boundary.

Part or all of this OS Sitemap is enlarged from mapping produced at one or more of the following scales: 1:1250, 1:2500, 1:10000.



Scale 1:1250

Supplied by: **The Architect Shop**  
 Serial number: 00005700  
 Centre coordinates: 491390.5 508326.5

Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site:

**14. Applicant Contact Details**

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

**15. Agent Contact Details**

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

**16. Site Visit**

Can the site be seen from a public road, public footpath, bridleway or other public land?  Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)  Agent  Applicant  Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name: Telephone number:

Email address:

**12. Planning Application Requirements - Checklist**

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. The correct fee:  The original and 3 copies of the following documents:

The completed and dated application form <input checked="" type="checkbox"/>	The completed, dated Article 7 Certificate (Agricultural Holdings) <input checked="" type="checkbox"/>	A design and access statement where proposed works fall within one of the following designated areas: <input checked="" type="checkbox"/>
A plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of north <input checked="" type="checkbox"/>	The completed, dated Ownership Certificate (A, B, C or D - as applicable) <input checked="" type="checkbox"/>	<ul style="list-style-type: none"> <li>• National Park</li> <li>• Site of special scientific interest</li> <li>• Conservation area</li> <li>• Area of outstanding natural beauty</li> <li>• World Heritage Site</li> <li>• The Broads</li> </ul>
Other plans and drawings or information necessary to describe the subject of the application <input checked="" type="checkbox"/>		

NYMNPA  
 09 SEP 2009

11. Certificates (continued)

**CERTIFICATE OF OWNERSHIP - CERTIFICATE D**

**Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

[Empty box for steps taken]

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

[Empty box for newspaper name]

[Empty box for date]

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Empty box for applicant signature]

[Empty box for agent signature]

[Empty box for date]

**AGRICULTURAL HOLDINGS CERTIFICATE**

**Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Empty box for applicant signature]

[Redacted box for agent signature]

02/09/09

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served
<div style="border: 2px solid black; padding: 5px; display: inline-block;">                     NYMNPA 09 SEP 2009                 </div>		

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Empty box for applicant signature]

[Empty box for agent signature]

[Empty box for date]

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- |  |  |  |
|--|--|--|
| 3 copies of a completed and dated application form: <input checked="" type="checkbox"/>  | 3 copies of a design and access statement where proposed works fall within one of the following designated areas: <input checked="" type="checkbox"/>  | The correct fee: <input checked="" type="checkbox"/>   |
| 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: <input checked="" type="checkbox"/> | <ul style="list-style-type: none"> <li>• National Park</li> <li>• Site of special scientific interest</li> <li>• Conservation area</li> <li>• Area of outstanding natural beauty</li> <li>• World Heritage Site</li> <li>• The Broads</li> </ul> | 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): <input checked="" type="checkbox"/>        |
| 3 copies of other plans and drawings or information necessary to describe the subject of the application: <input checked="" type="checkbox"/>                                      |  | 3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable): <input checked="" type="checkbox"/> |

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Empty box for applicant signature]

[Redacted box for agent signature]

02/09/09 (date cannot be pre-application)



11. Certificates

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form  
**CERTIFICATE OF OWNERSHIP - CERTIFICATE A**

**Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**  
 I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

02/09/09

**CERTIFICATE OF OWNERSHIP - CERTIFICATE B**

**Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**  
 I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

NYM NPA  
 09 SEP 2009

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

**CERTIFICATE OF OWNERSHIP - CERTIFICATE C**

**Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**  
 I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

The steps taken were:

Name of Owner	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls	BRICKWORK & STONE	COURSED LOCAL STONE	<input type="checkbox"/>	<input type="checkbox"/>	
Roof	SLATE	SLATE	<input type="checkbox"/>	<input type="checkbox"/>	
Windows	UPVC	UPVC	<input type="checkbox"/>	<input type="checkbox"/>	
Doors	UPVC	UPVC	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing	TARMAC	TARMAC	<input type="checkbox"/>	<input type="checkbox"/>	
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)			<input checked="" type="checkbox"/>	<input type="checkbox"/>	

NYMNPA  
 09 SEP 2009

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?  Yes  No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

DRAWINGS 9091.04 & 9091.05

**3. Description of Proposed Works (continued)**

Has the work already been started without planning permission?  Yes  No  
 If Yes, please state when the works were started (DD/MM/YYYY): \_\_\_\_\_ (date must be pre-application submission)

Has the work already been completed without planning permission?  Yes  No  
 If Yes, please state when the works were completed (DD/MM/YYYY): \_\_\_\_\_ (date must be pre-application submission)

**4. Site Address Details**

Please provide the full postal address of the application site.

Unit: \_\_\_\_\_ House number: \_\_\_\_\_ House suffix: \_\_\_\_\_

House name: **DALE VIEW HOUSE**

Address 1: **STAINSACRE**

Address 2: \_\_\_\_\_

Address 3: \_\_\_\_\_

Town: **WHITBY**

County: **NORTH YORKSHIRE**

Postcode (optional): **YO22 4NT**

**5. Pedestrian and Vehicle Access, Roads and Rights of Way**

Is a new or altered vehicle access proposed to or from the public highway?  Yes  No

Is a new or altered pedestrian access proposed to or from the public highway?  Yes  No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way?  Yes  No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/ drawing(s):

**NYMNP**  
**09 SEP 2009**

**6. Pre-application Advice**

Has assistance or prior advice been sought from the local authority about this application?  Yes  No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much possible:

Officer name: \_\_\_\_\_

Reference: \_\_\_\_\_

Date (DD MM YYYY): \_\_\_\_\_ (must be pre-application submission)

Advice given: \_\_\_\_\_

**7. Trees and Hedges**

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary?  Yes  No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?  Yes  No

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers e.g. T1, T2 etc. and state the reference number of any plans or drawings:

**8. Parking**

Will the proposed works affect existing car parking arrangements?  Yes  No

If Yes, please describe: \_\_\_\_\_

**9. Council Employee / Member**

Is the applicant or agent related to any member of staff or elected member of the Council?  Yes  No

If Yes, please provide details: \_\_\_\_\_

NZ91362, 0832S  
NYM, 2009 / 0618 / FL



North York Moors National Park Authority  
The Old Vicarage  
Bondgate  
Helmsley  
York  
YO62 5BP

09/618

Telephone: 01439 770657  
Email: dc@northyorkmoors-npa.gov.uk  
Website: www.moors.nk.net

PT,

### Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

#### Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address

Title:  First name:

Last name:

Company (optional):

Unit:  House number:  House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

2. Agent Name and Address

Title:  First name:

Last name:

Company (optional):

Unit:  House number:  House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

3. Description of Proposed Works

Please describe the proposed works:

SINGLE STOREY EXTENSIONS TO PROVIDE  
LIVING ROOM, BOOT ROOM & ENSUITE

NYMNP  
09 SEP 2009

Amenity & Environmental Impact considerations

The extension sites are either already developed or tarmac therefore there should be no environmental impact considerations.

Trees

No trees or hedges should be affected by development.

Foul sewage & utilities assessment

Main foul and surface water drains are available to connect into and there will be no additional run-off of surface water because parts of the proposals are removal of existing extensions and the remainder will replace existing impervious hardstanding.

NYMNPA  
U9 SEP 2009

# Mike Swinglehurst, Architect

The Stables, Wigman Hall, Crockey Hill, York YO19 4SQ.

NYMNPA

09 SEP 2009

## DESIGN & ACCESS STATEMENT DOMESTIC EXTENSIONS TO DALE VIEW HOUSE, STAINSACRE.

This Design & Access Statement accompanies a Householder planning application to North York Moors National Park Authority, by Sue Spencer, for the erection of three single storey domestic extensions to the existing dwelling.

### **Location**

The application site is located at the western most part of the settlement.

The neighbouring properties to north and east are residential and there are equestrian outbuildings to the south. To the west is a garden and exercise arena with fields beyond.

### **Planning Policy**

Development Policy 19 is taken into consideration in so much as the heights, form, design and proposed external materials of the proposed extensions should enhance the original building. This will be especially pertinent as planning permission will also result in the removal of three existing un-sympathetic extensions.

The proposed development should not adversely affect the amenities of the neighbouring bungalow and the proposed additional accommodation is ancillary to the main dwelling.

The site is well elevated and not within any flood risk zone.

### **The Proposed Scheme**

#### Access

An existing pedestrian and vehicular access to the site, from the main street, already exists and will not be altered.

#### Layout

Two of the three proposed additions will replace existing conservatory style structures to give more permanent and sympathetic extensions. The third, north side, extension will improve the appearance of the property as seen from the road and it will provide much needed ancillary accommodation to a ground floor bedroom for an elderly relative.

#### Scale and Appearance

The existing two storey dormer dwelling is predominately slate roof with coursed stone walls. There is a later addition built of facing brickwork. All windows have been changed at some time to upvc. The proposed extensions will be built with materials to match the original dwelling.