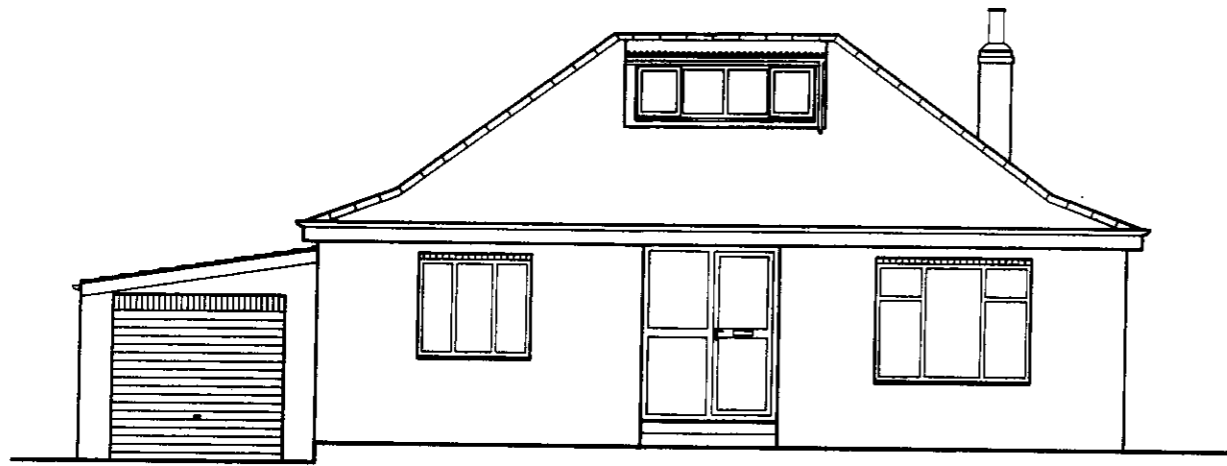
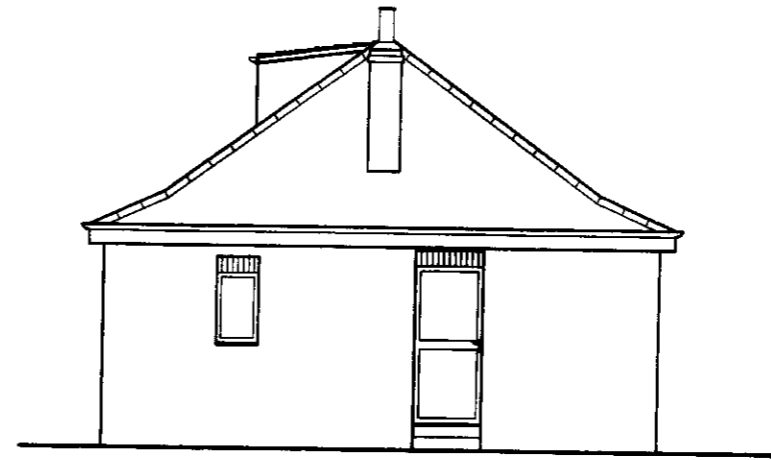


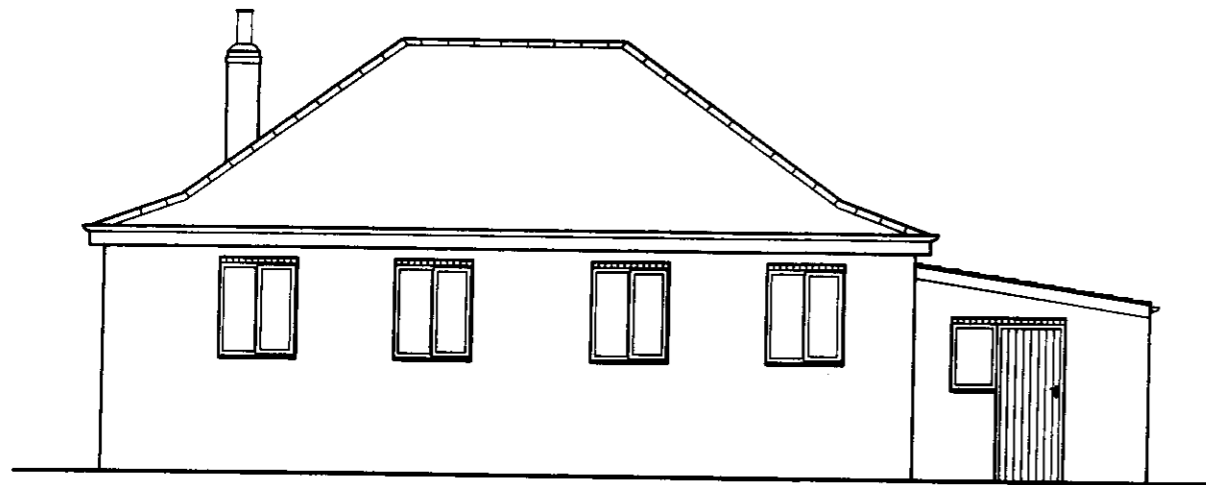
NYM / 2009 / 0 6 8 6 / FL



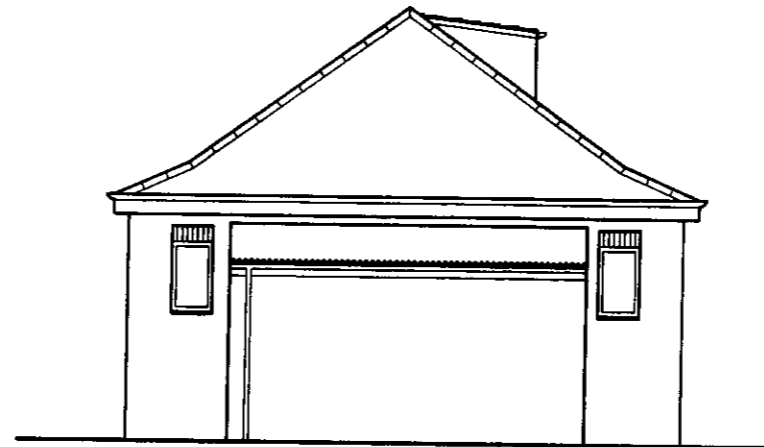
Front Elevation



Right Elevation



Rear Elevation



Left Elevation

NYM NPA
- 6 OCT 2009

PROJECT
No. 15 Summerfield Lane, Stainsacre

CLIENT
Mr John Collinson

DRAWING
Elevations following remedial works

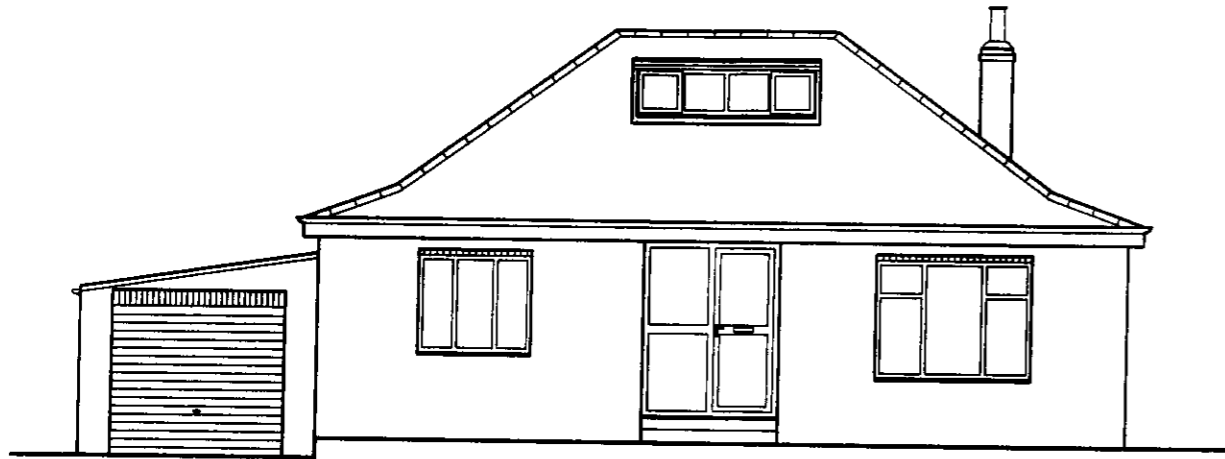
SCALE
1:100

DATE
September 2009

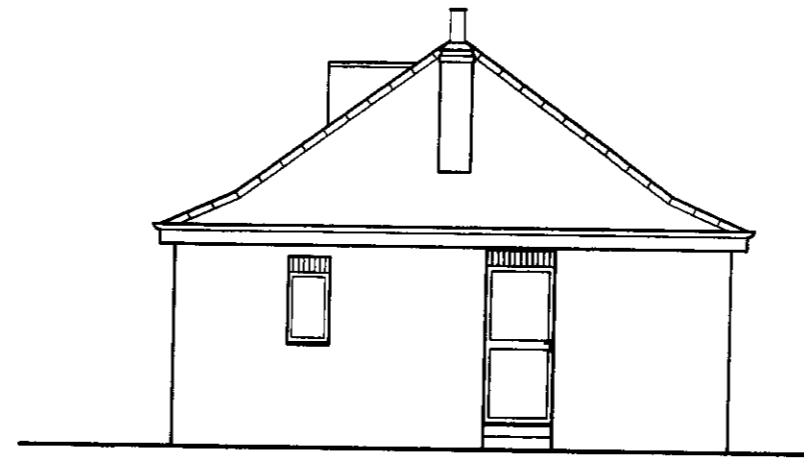
DRAWING NO.
003

REVISION
N/A

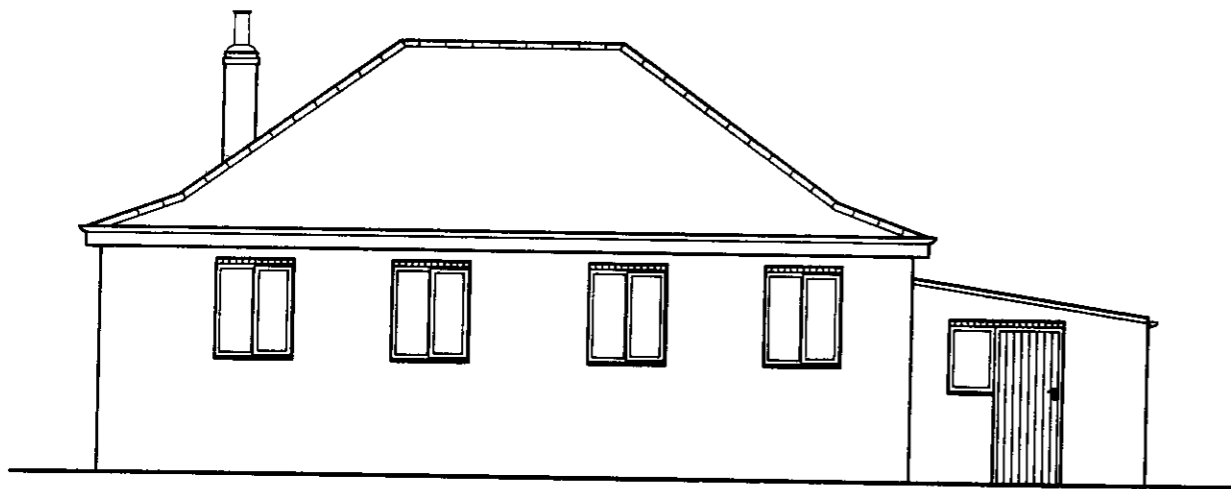
NYM / 2009 / 0 6 8 6 / F L



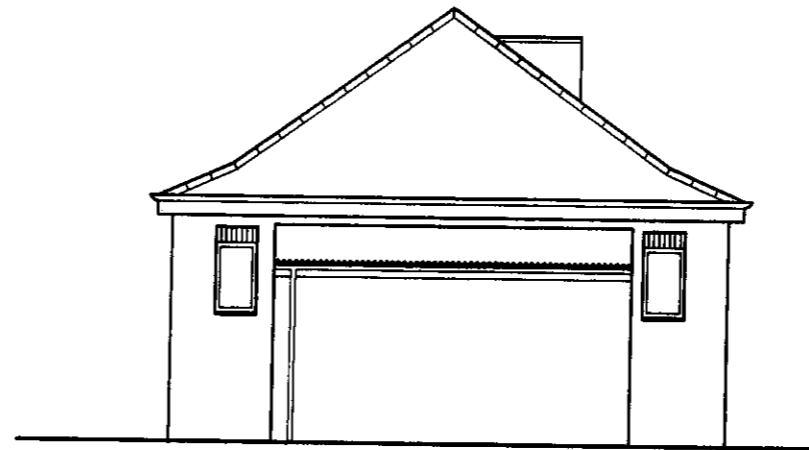
Front Elevation



Right Elevation



Rear Elevation



Left Elevation

NYMNP
- 6 OCT 2009

PROJECT
No. 15 Summerfield Lane, Stainsacre

CLIENT
Mr John Collinson

DRAWING
Elevations prior to remedial works

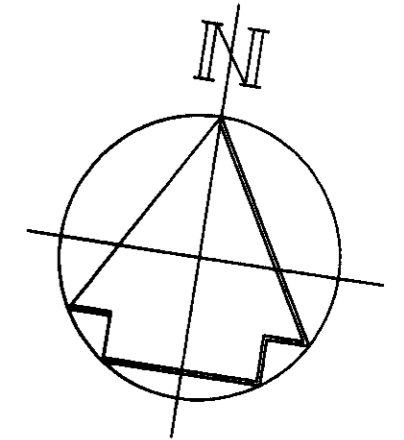
SCALE
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DATE
September 2009

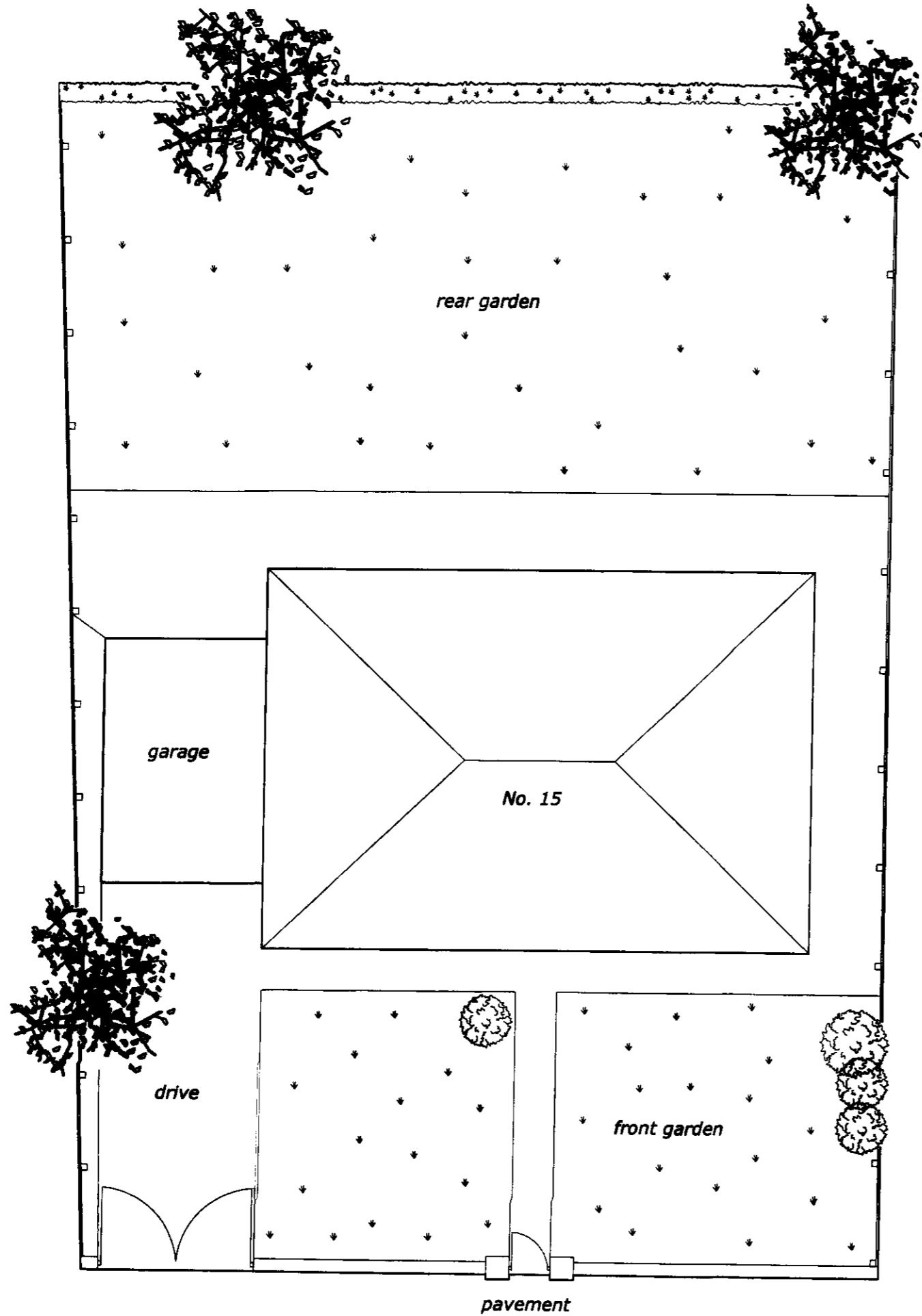
DRAWING NO.
001

REVISION
N/A

NYM / 2009 / 0 6 8 6 / F L



NYMNPA
- 6 OCT 2009



Summerfield Lane

PROJECT
No. 15 Summerfield Lane, Stainsacre

CLIENT
Mr John Collinson

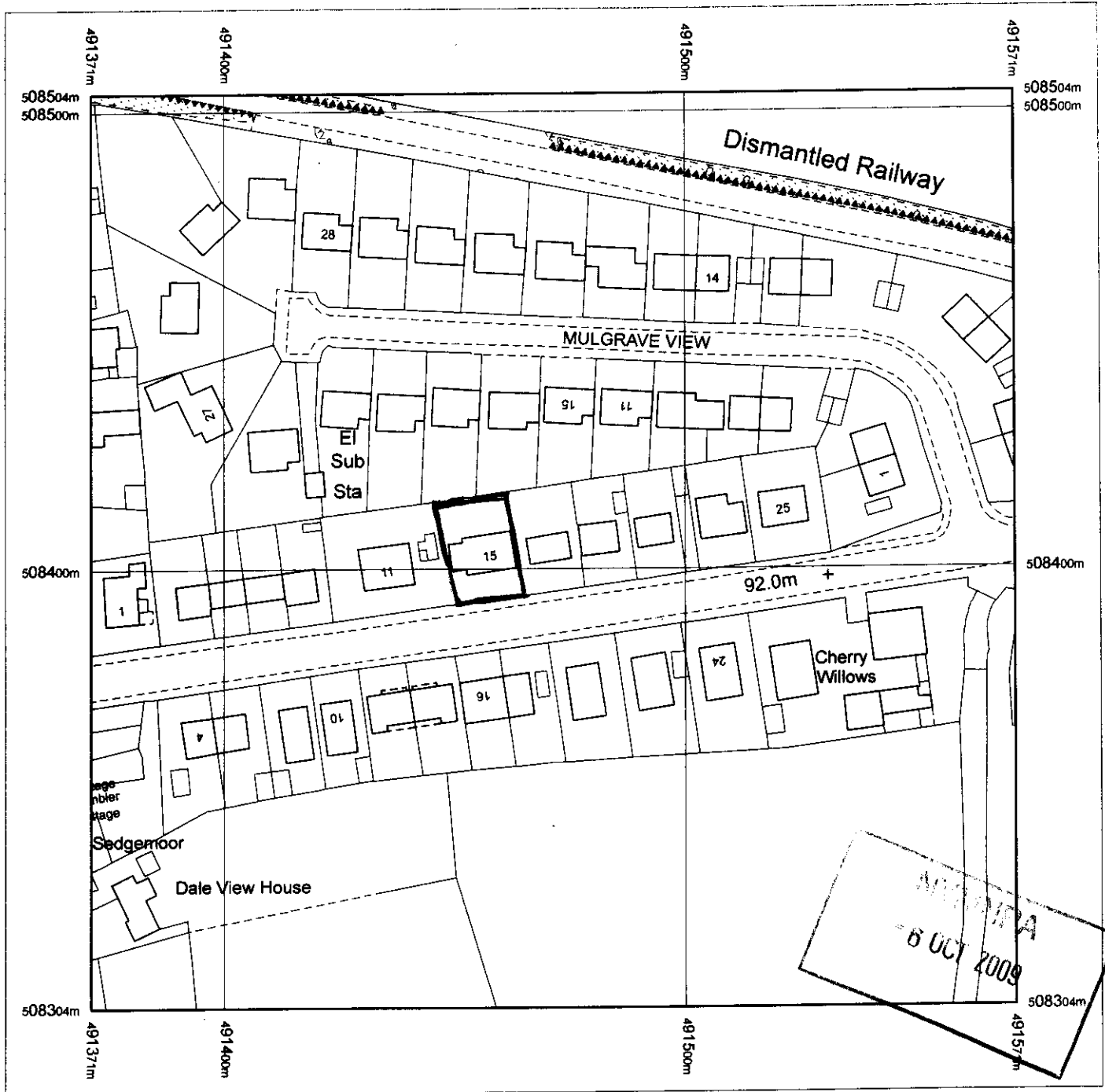
DRAWING
Site Plan - no change

SCALE
1:100

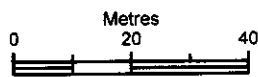
DATE
September 2009

DRAWING NO.
004

REVISION
N/A



ATTACHED TO APPLICATION
 ON: 15 SUMMERFIELD LANE
 STAINSLAKE



Scale 1:1250

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The representation of features as lines is no evidence of a property boundary.

Part or all of this OS Sitemap is enlarged from mapping produced at one or more of the following scales: 1:1250, 1:2500, 1:10000.

Supplied by: **Latitude - Southampton**
 Serial number: 02549200
 Centre coordinates: 491471.25 508403.88

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www.ordnancesurvey.co.uk



North York Moors National Park Authority
The Old Vicarage
Bondgate
Helmsley
York
YO62 5BP

Telephone: 01439 770657
Email: dc@northyorkmoors-npa.gov.uk
Website: www.moors.uk.net

09/686
PT1

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address		2. Agent Name and Address	
Title: <input type="text" value="MR"/>	First name: <input type="text" value="JOHN"/>	Title: <input type="text" value="N/A"/>	First name: <input type="text"/>
Last name: <input type="text" value="COLLINSON"/>		Last name: <input type="text"/>	
Company (optional): <input type="text"/>		Company (optional): <input type="text"/>	
Unit: <input type="text"/>	House number: <input type="text"/>	House suffix: <input type="text"/>	House number: <input type="text"/>
House name: <input type="text" value="OAKLANDS"/>		House name: <input type="text"/>	
Address 1: <input type="text" value="LARPOOL LANE"/>		Address 1: <input type="text"/>	
Address 2: <input type="text"/>		Address 2: <input type="text" value="NYMANPA"/>	
Address 3: <input type="text"/>		Address 3: <input type="text" value="6 OCT 2009"/>	
Town: <input type="text" value="WALTBY"/>		Town: <input type="text"/>	
County: <input type="text" value="YORKSHIRE"/>		County: <input type="text"/>	
Country: <input type="text" value="ENGLAND"/>		Country: <input type="text"/>	
Postcode: <input type="text" value="YO22 4NE"/>		Postcode: <input type="text"/>	

3. Description of Proposed Works

Please describe the proposed works:

RETROSPECTIVE APPLICATION FOR

- 1) REPLACEMENT DORMER WINDOW
- 2) RE-BUILDING SECTIONS OF ATTACHED GARAGE

3. Description of Proposed Works (continued)

Has the work already been started without planning permission? Yes No
 If Yes, please state when the works were started (DD/MM/YYYY): APRIL 09 (date must be pre-application submission)
 Has the work already been completed without planning permission? Yes No
 If Yes, please state when the works were completed (DD/MM/YYYY): AUG 09 (date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.
 Unit: House number: 15 House suffix:
 House name: PEILE WYKE
 Address 1: SUMMERFIELD LANE
 Address 2: STAINSACRE
 Address 3:
 Town: WHITBY
 County: YORKSHIRE
 Postcode (optional): YO22 4NQ

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No
 Is a new or altered pedestrian access proposed to or from the public highway? Yes No
 Do the proposals require any diversions, extinguishments and/or creation of public rights of way? Yes No
 If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/ drawing(s):

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6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No
 If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).
 Please tick if the full contact details are not known, and then complete as much possible:
 Officer name:
 Reference:
 Date (DD MM YYYY):
 (must be pre-application submission)
 Advice given:

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No
 If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:
 Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No
 If Yes, please show on your plans, indicating the scale, which trees by giving them numbers e.g. T1, T2 etc. and state the reference number of any plans or drawings:

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No
 If Yes, please describe:

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the Council? Yes No
 If Yes, please provide details:

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls	BRICKWORK	BRICKWORK RE-USED	<input type="checkbox"/>	<input type="checkbox"/>	
Roof	TILES	TILES TO MATCH	<input type="checkbox"/>	<input type="checkbox"/>	
Windows	PLASTIC	PLASTIC	<input type="checkbox"/>	<input type="checkbox"/>	
Doors	PLASTIC	PLASTIC	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)			<div style="border: 1px solid black; padding: 5px; display: inline-block;"> NYM/PA - 6 OCT 2009 </div>		
Vehicle access and hard-standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)			<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

Yes

No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

11. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

NYM/NPA

- 6 OCT 2009

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- | | | |
|--|--|--|
| 3 copies of a completed and dated application form: <input checked="" type="checkbox"/> | 3 copies of a design and access statement where proposed works fall within one of the following designated areas: <input checked="" type="checkbox"/> | The correct fee: <input checked="" type="checkbox"/> |
| 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: <input checked="" type="checkbox"/> | <ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads | 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): <input type="checkbox"/> |
| 3 copies of other plans and drawings or information necessary to describe the subject of the application: <input checked="" type="checkbox"/> | | 3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable): <input checked="" type="checkbox"/> |

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

(date cannot be pre-application)

14. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

15. Agent Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

16. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one) Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name: Telephone number:

Email address:

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. The correct fee: The original and 3 copies of the following documents:

The completed and dated application form <input type="checkbox"/>	The completed, dated Article 7 Certificate (Agricultural Holdings) <input type="checkbox"/>	A design and access statement where proposed works fall within one of the following designated areas: <input type="checkbox"/>
A plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of north <input type="checkbox"/>	The completed, dated Ownership Certificate (A, B, C or D - as applicable) <input type="checkbox"/>	<ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads
Other plans and drawings or information necessary to describe the subject of the application <input type="checkbox"/>		

NYM/PIPA
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VALIDATION CHECKLIST

HOUSEHOLDER APPLICATIONS
for extensions, detached outbuildings
and
other alterations to existing dwellings



Please complete the attached checklist to indicate what you have included with your application. All plans should include paper size, key dimensions and scale.

STANDARD REQUIREMENTS:

(1 original and 3 copies to be supplied unless the application is submitted electronically)

Completed application form

YES

N/A

Completed Certificate of Ownership, A, B, C or D as required by Article 7 of the Town and Country Planning (General Development Procedure) Order 1995.

YES

N/A

Agricultural Holdings Certificate as required by Article 7 of the Town and Country Planning (General Development Procedure) Order 1995

YES

N/A

Location Plan at a scale of 1:2500 or 1:1250 with your application site edged red and any other land in your ownership edged in blue.

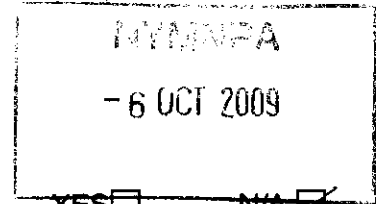
YES

N/A

Existing site layout plans at a scale of 1:500, 1:200 or 1:100 showing the site in relation to existing buildings and site boundaries. The plan should indicate where existing features of the site are located including existing buildings (indicating proposed demolitions), trees (identifying any proposed felling), means of access and type of enclosure (wall, fence, hedges) and shall show adjacent properties/buildings.

YES

N/A



Proposed site layout plans at a scale of 1:500, 1:200 or 1:100

YES

N/A

Existing and proposed elevations to a scale of 1:50 or 1:100
 Requirements dependent on position of extension eg. no front elevation required for rear extension etc.

YES

N/A

Existing and proposed floor plans to a scale of 1:50 or 1:100 For each floor ie, ground and first floor plans required for two storey extension

YES

N/A

Roof Plans to a scale of 1:50 or 1:100
 If proposed development alters the existing roof

ON ELEVATIONS AT 1:100

YES

N/A

Existing and proposed site sections and finished floor level and site levels to a scale of 1:50 or 1:100

YES

N/A

Design and Access Statement

YES

N/A

Manufacturers specification/leaflet, for proposals incorporating plant/machinery (swimming pools/wind turbines)

YES

N/A

Application fee

YES

NO

Please consult our enclosed Schedule of Fees
 Cheques are to be made payable to NYMNP A

ADDITIONAL REQUIREMENTS (where likely to be relevant to the development proposed)

Biodiversity Survey and Report

YES

N/A

Flood Risk Assessments/ Sequential Test (flood zones)

YES

N/A

Tree Survey/Arboriculture Assessment

YES

N/A

Where ground based works within 2 metres of the crown spreads of any trees covered by Tree Preservation Order or tree located in a village Conservation Area

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NYM / 2009 / 0 6 8 6 / F L

Design and Access Statement
Retrospective Application
Remedial Works
15 Summerfield Lane
Stainsacre
North Yorkshire
For
Mr John Collinson
September 2009

NYM / A
- 6 OCT 2009

1.0 Design

1.1 Context

The existing property is a detached dwelling in the heart of the residential area of Stainsacre.

The application consists of the following elements:

Replacement of dormer window to front roof slope:

Re-constructed dormer window in same position on the roof. The previous flat lead roof design of the dormer has been changed to a low pitch roof finished in tiles to match the main roof.

Partial re-construction of single garage:

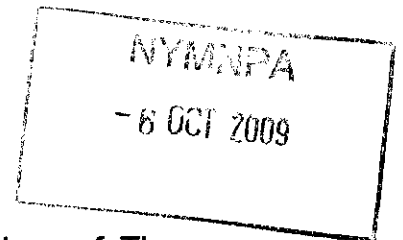
Repairs to old garage as this was in very poor structural condition. New side and rear walls built to match the same footprint. The roof design was poor therefore the pitch was increased in tiles to match the main roof.

The works visually enhance the front elevation and do not detract from the original design of the property. The general design, scale and materials reflect and match those of the existing property.

1.2 Amount of Development

The works under this application do not affect the site layout and are only slight design changes to improve the property.

The works have not resulted in any increase to the areas of the building.



1.3 Layout and Scale

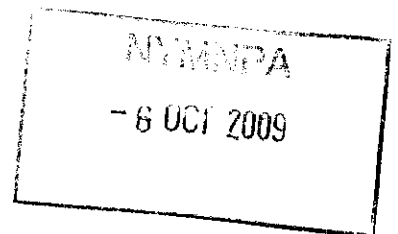
The basic layout and scale of the property is unchanged as a result of the application works.

1.4 Landscaping

No works proposed, only general maintenance and tidying up of the overgrown garden.

2.0 Access

No works proposed that impact on access to the property.



3.0 Conclusion

In examining the Local Plan Policies, the proposals have addressed the major issues of:

Layout and design. In terms of the layout the scheme responds to the conditions and existing features of the site and dwelling with no addition to the building foot print.

Materials. The finished building materials are in keeping with the established local palette.

The design respects the character of the existing neighbouring houses in terms of design, scale and the level of detailing intended.

Therefore for these reasons consideration of approval is requested.