

Riverside Design Group

Barclays Bank House Baxtergate Whitby North Yorkshire YO21 1BW Telephone 01947 604353

Mrs H Saunders
Senior Area Planning Officer
North York Moors National Park Authority
The Old Vicarage
Bondgate
Helmsley
York
YO62 5BP

23 July 2010

Your Ref: NYM/2010/0386/FL

Our Ref: MJM/SK/8640

Dear Mrs Saunders

Proposed extension to dwelling to provide garaging and additional accommodation space at Tamarind, Church Lane, Fylingthorpe, your ref: NYM/2010/0386/FL.

NYMNPA

FLOOD RISK & DRAINAGE STATEMENT

28 JUL 2010

Introduction

The property was erected in 1978 and occupies a substantial site set to the rear of older properties on the outskirts of the village of Fylingthorpe and is linked to the nearby highway, being Church Lane, by a private driveway.

Surface water from the west and north roof slopes discharges to a soakaway in the adjacent field, surface water from the eastern roof slope discharges into the public combined water sewer in Church Lane.

The site of the proposed extension is on a section of the current domestic garden area adjacent to the southern gable of the house and is at a lower level than the house.

Overall, the site has a gentle slope, running roughly from north to south, and is bounded to the northwest and west by open fields which have open drainage ditches along their boundaries. The site is not prone to flooding and does not lie within an area deemed to be at risk from fluvial flooding.

The Environment Agency have expressed the view that due to the scale and nature of the proposed extension, the proposals would not under normal circumstances therefore be of concern as being likely to create the risk of any flooding occurring.

Flooding issues

Due to the topography of the land, there will always be potential for overland flow through the site during sustained periods of heavy rainfall, when the ground is saturated and unable to cope with the volume falling onto the area. Clearly, the erection of the proposed extension will not influence this situation in any respect and does not therefore constitute a new or additional flood risk.

Cont/d..

In recent times there has only been a single recorded incident of water affecting the passageway behind the nearby terrace of cottages. This occurred in 2009, a year of exceptional rainfall, and was an example of overland water flowing from the land above Tamarind, down to the property and over the driveway and garden, eventually reaching the adjacent passageway along the southern boundary.

The incident was investigated by the Local Authority's Senior Building Control Officer and confirmed as nothing more than surface water runoff due to the blockage by garden waste of a drainage sump located in a neighbour's garden. The sump was cleared by the applicant and since then there have been no further instances of water runoff, despite the last winter being the worst on record for thirty years in terms of snowfall and rainfall.

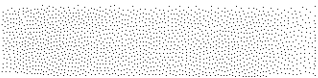
Precautionary measures

Following a site inspection and consultations with the Environment Agency's Development Control Engineers and Yorkshire Water's Engineers, in the event of consent being granted for the extension it is proposed to implement various measures to minimise any future risk from surface water runoff; these are as follows:-

With the benefit of advice received, it is proposed that the roof water from the planned extension together with that from the eastern slope of the existing roof would be piped into an underground holding tank below the existing driveway from whence it would discharge into the existing main drain connection. Discharge from this tank would be limited to a maximum flow rate of three litres/second and all of the work would be carried out to the complete satisfaction of the Local Authority's Building Control Officers. Yorkshire Water has given consent for this discharge, as evidenced in the attached letter from their Developer Services Team.

Surface water runoff from the existing drive on to the proposed new driveway would be prevented by means of a 'bundling' kerb across the entrance to the new driveway and the proposed new turning area would be constructed using permeable materials consisting of a 200mm thk bed of 22mm aggregate laid over a min 300mm thk sub-base of crushed stone, all contained in a Geotextile fabric wrap and retained by pin kerbs. At the lower end of this area, the pin kerbs would have a 'bundling' effect against any surface water runoff and channel drains would be placed here to prevent any accumulation of surface water. Water collected by these channel drains would be piped to a new soakaway which would be sited a minimum of 25M out to the southwest end of the site. A percolation test on the proposed soakaway pit would be carried out by the Local Authority's Building Control Officers and this turning area formation work and associated drainage provisions would be carried out to their complete satisfaction.

For and on behalf of Mr D Vasey



Mike McCabe

NYMNP/PA

28 JUL 2010

Fw: Tamarind, Church Lane, Fylingthorpe - Construction of extension to provide additional living accommodation and garaging

From: robert.howard@yorkshirewater.co.uk

Sent: 21 July 2010 08:53:48

To: mjmccabe00@hotmail.com

Regards

Robert

----- Forwarded by Robert Howard/Waste Water/YWS/Yorkshire Water on 21/07/2010 09:45 -----

Yorkshire Water
Developer Services Team
Western House
mjmccabe00@hotmail.com Halifax Road
PO Box 500
Bradford
BD6 2SZ
Your Ref:
Our Ref: L003958 Tel: 0845 120 8482
Fax:
For telephone enquiries ring:
Robert Howard on 0845 120 8482

21st July 2010

Dear Sir,

Tamarind, Church Lane, Fylingthorpe - Construction of extension to provide additional living accommodation and garaging

I refer to our telephone conversation of today and confirm that Yorkshire Water would have no objection to curtilage surface water from the proposed extension being discharged to the public combined water sewer in Church Lane via the existing private drainage system. The surface water discharge must be restricted to 3 (three) litres/second from the existing house and extension so that it does not exceed the previous discharge from the site.

Yours faithfully

NYMNP

28 JUL 2010

Robert Howard
for : Developer Services Team

Find out how our new character Numptee is causing all sorts of

problems by putting the wrong things down his toilet and drains -
check out his videos and look at what you can do to help keep your
drains running free. Visit <http://www.yorkshirewater.com/binit>

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<http://www.keldagroup.com/email.htm>

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28 JUL 2010