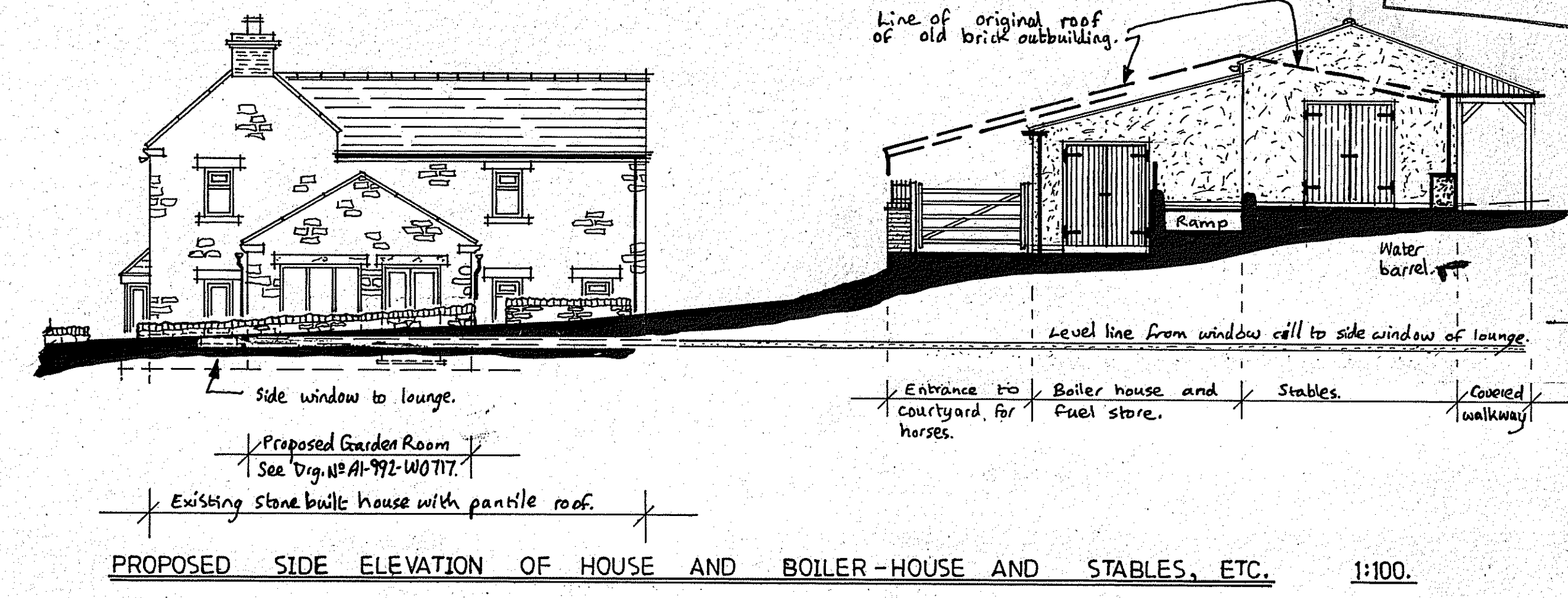
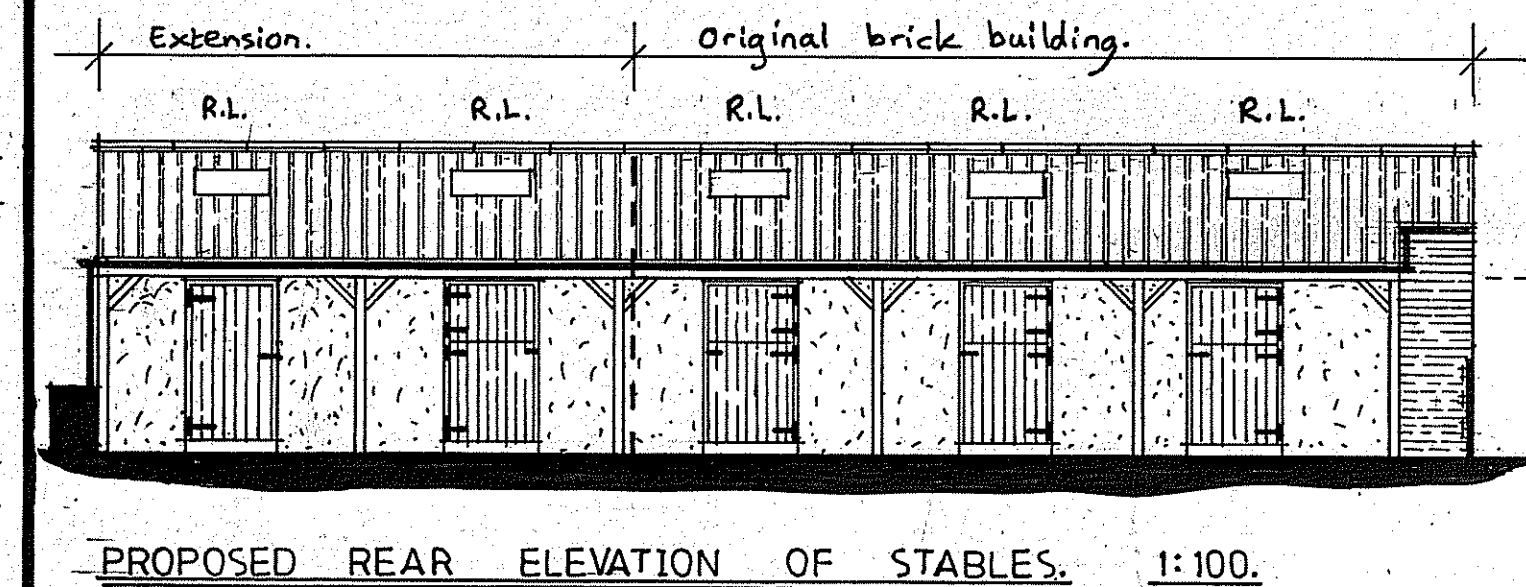


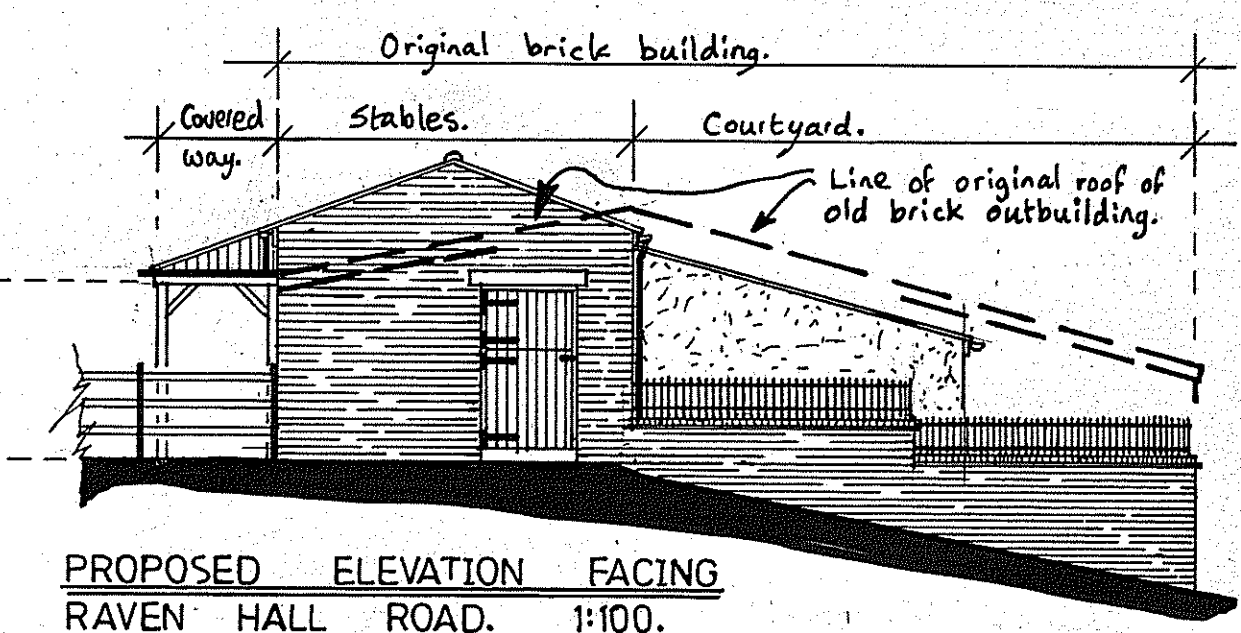
PROPOSED PLAN FOR STABLES ETC. 1:50.



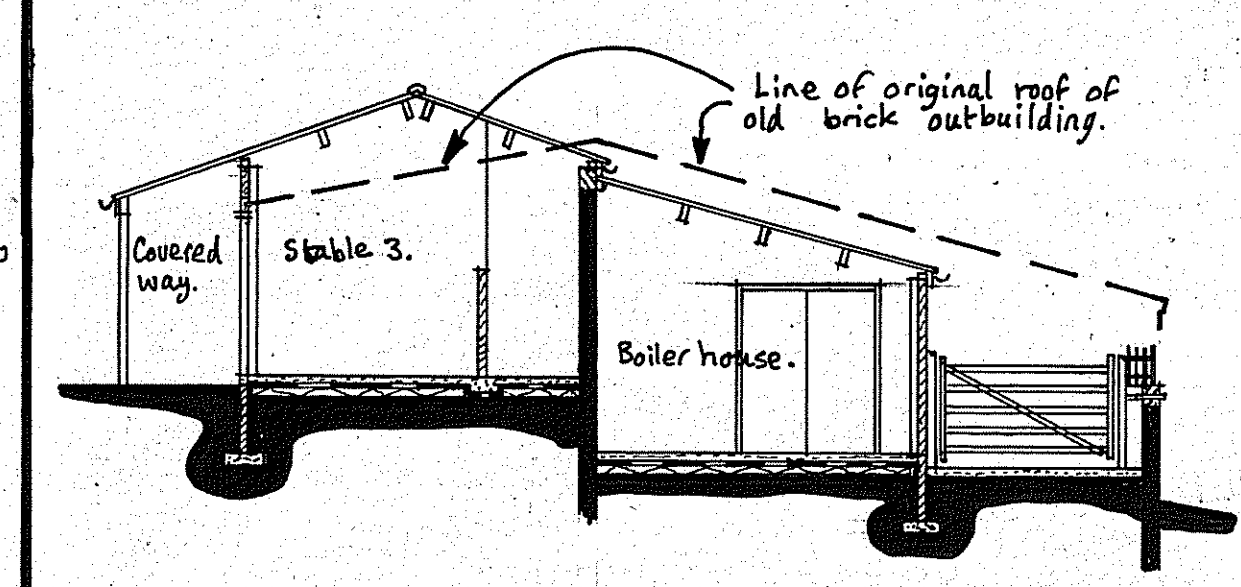
PROPOSED SIDE ELEVATION OF HOUSE AND BOILER-HOUSE AND STABLES, ETC. 1:100.



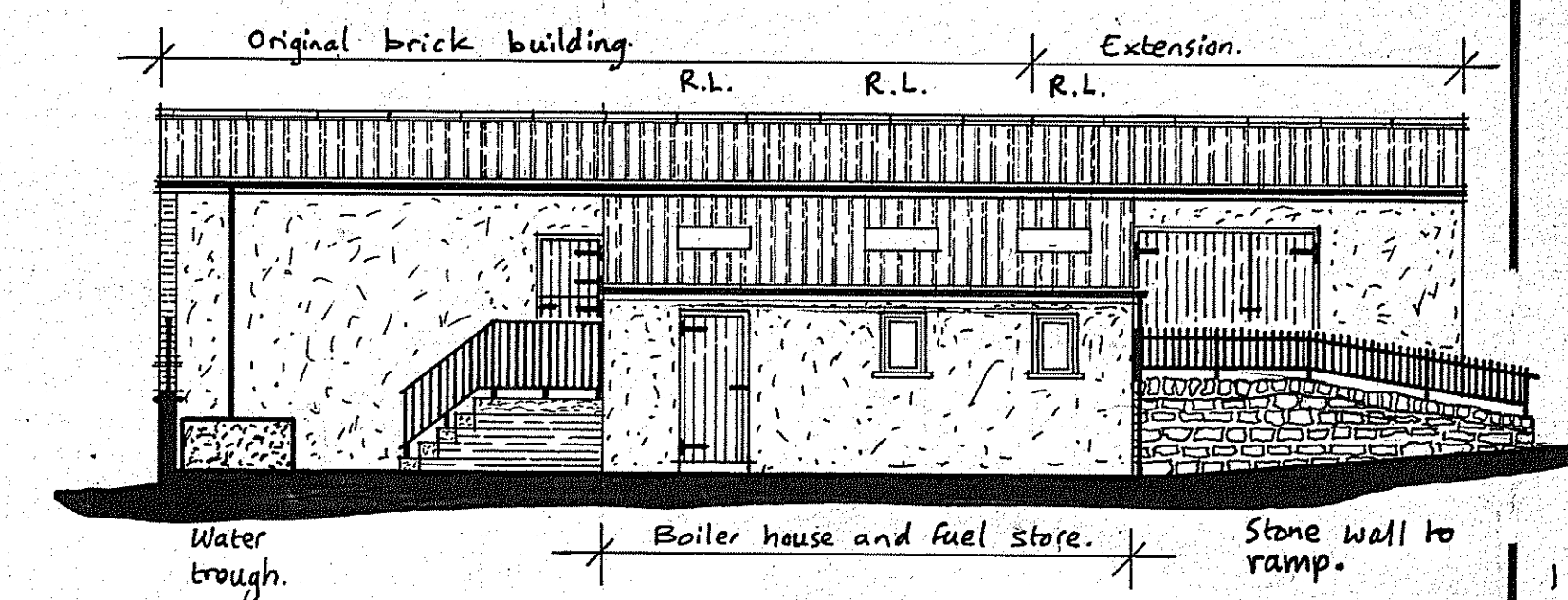
PROPOSED REAR ELEVATION OF STABLES. 1:100.



PROPOSED ELEVATION FACING RAVEN HALL ROAD. 1:100.



PROPOSED SECTION B-B 1:100.



PROPOSED FRONT ELEVATION FACING REAR OF HOUSE. 1:100.

**Roof:** Dark brown coloured pre-finished, plastisol coating, metal cladding exact profile and colour to be agreed by means of samples at time of works, see planning conditions. Sheeting on steel or stress graded purlins at 1.5 metre maximum centres or as directed by sheeting manufacturer. Purlins on brusses or beams to reduce span, see further details on other drawing A1-995-W0717. 100x75mm s.w. wall plates at eaves with s.w. painted fascia boards. Anchor roof to walls at 200mm maximum centres with galvan. ms. straps. Include 6x translucent sheeting in positions as shown to form rooflights. Translucent sheets to be same profile as main sheeting and fixed in accordance with manufacturers instructions.

**External Walls:** Part existing red brick, existing repointed etc. and part stone coloured rendered finish with red brick below DPC. The existing walls retained are 215 mm brickwork. New walls to be 100mm solid concrete blocks with 440x110mm block piers as shown on plan. DPC to walls at 150mm above ground level. Concrete Foundations depend on ground conditions allow for 500x150mm minimum size founded at 100mm below ground level, or as directed by Building Inspector dependent on ground conditions. Allow for standard precast or prestressed concrete lintols over doors and windows.

**Doors:** All vertical boarded traditional timber construction, stained dark brown or painted. Black hinges and bolts etc.

**Windows and other woodwork:** Finished as doors.

**Internal Stable walls:** Any full height walls as external walls on 500x150mm concrete foundations. Low height walls between stables can be built off concrete floor, which should be thickened out to 200mm below walls by 400mm wide.

**Floors:** 100 mm concrete, on 1200 gauge polythene DPM, on blinded and consolidated hardcore. DPM taken up edge of concrete to lap with wall DPC.

**Wall to courtyard:** Existing brick from old stone building reduced in height with brick on edge capping over tile creasing course and with simple vertical bar wrought iron railings above.

**Electrics:** All to comply with part 'P' of Building Regulations and must be self certified or inspected and approved by suitably qualified electrician in accordance with Part 'P' of Building Regulations.

**Boiler:** To be GEES Stoker Pirng system type, can be fired with any biomass fuel. Boiler reference likely to be Alcon 3M with 1250 L. 3taker. See literature enclosed with application.

See Drg. No. A1-995-W0717 for extra details for Building Regulations, for roof details etc.

**PROPOSED ALTERATION AND EXTENSION OF EXISTING BRICK OUTBUILDING TO FORM STABLES AND OUTBUILDINGS AT FAIRVIEW, ROBIN HOOD ROAD, RAVENSCAR.**

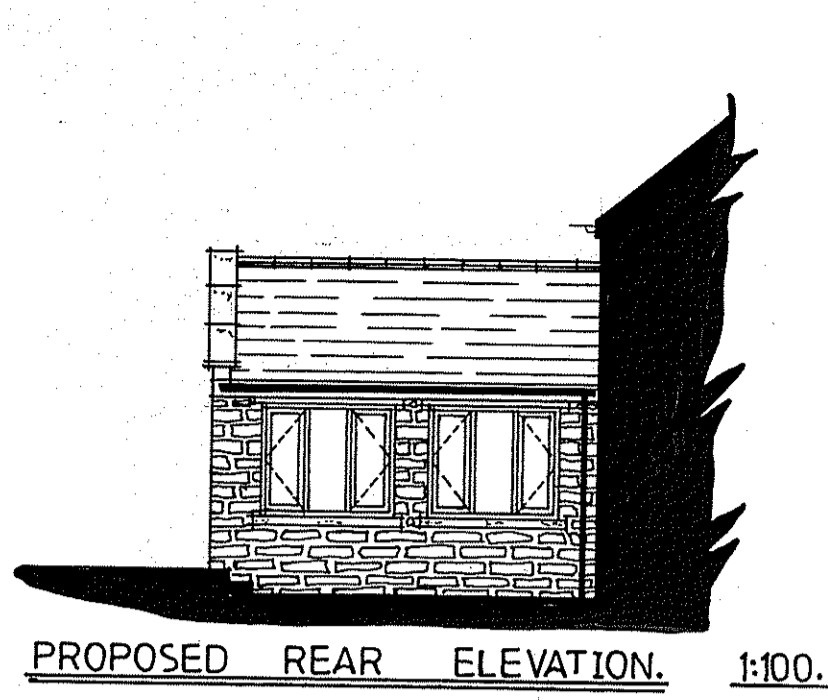
Client	:- Mr D Jenkins.
Scale	:- 1:50. 1:100.
Drg. No.	:- A1-994-W0717 A
Date	:- 25th February 2010
Drawn By	:- A.E. Welburn.

**AMENDMENTS.**  
A. May 2010: Further details added and minor amendments.

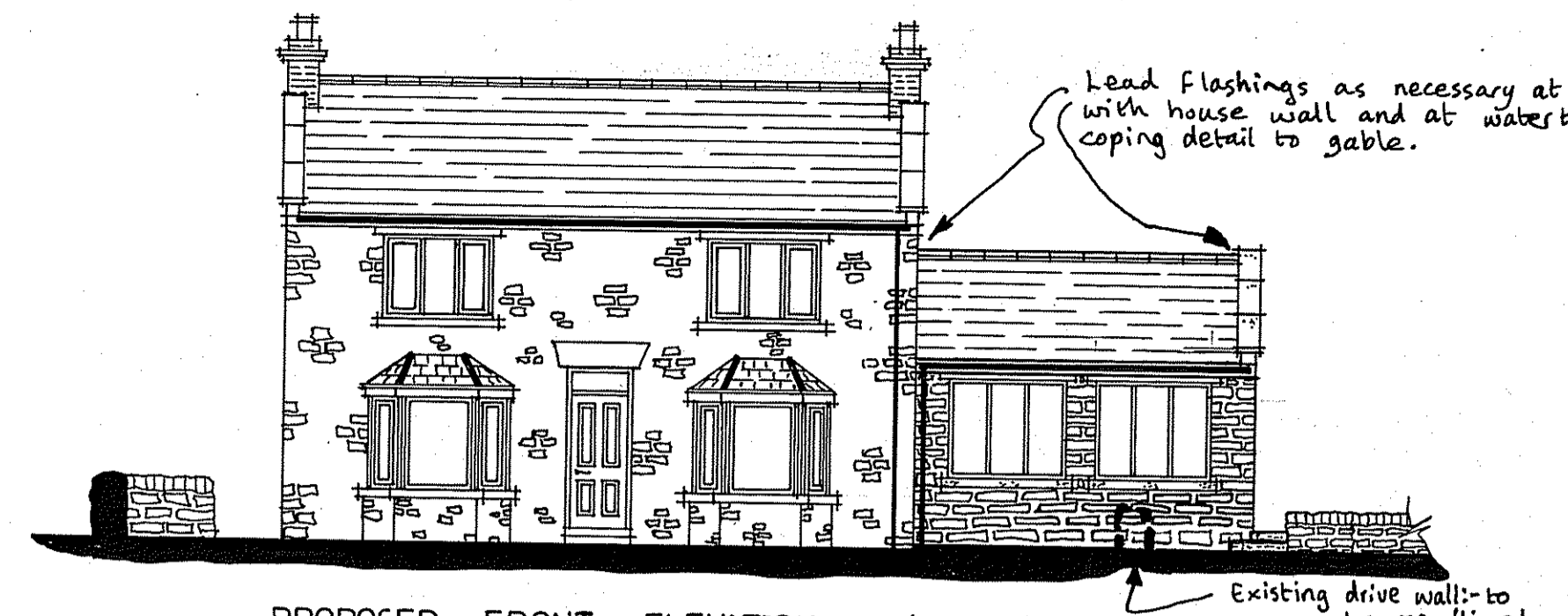
**A.E. WELBURN**  
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88 HAMPTON ROAD,  
SCARBOROUGH,  
YO12 5PX  
Telephone 01723-371918



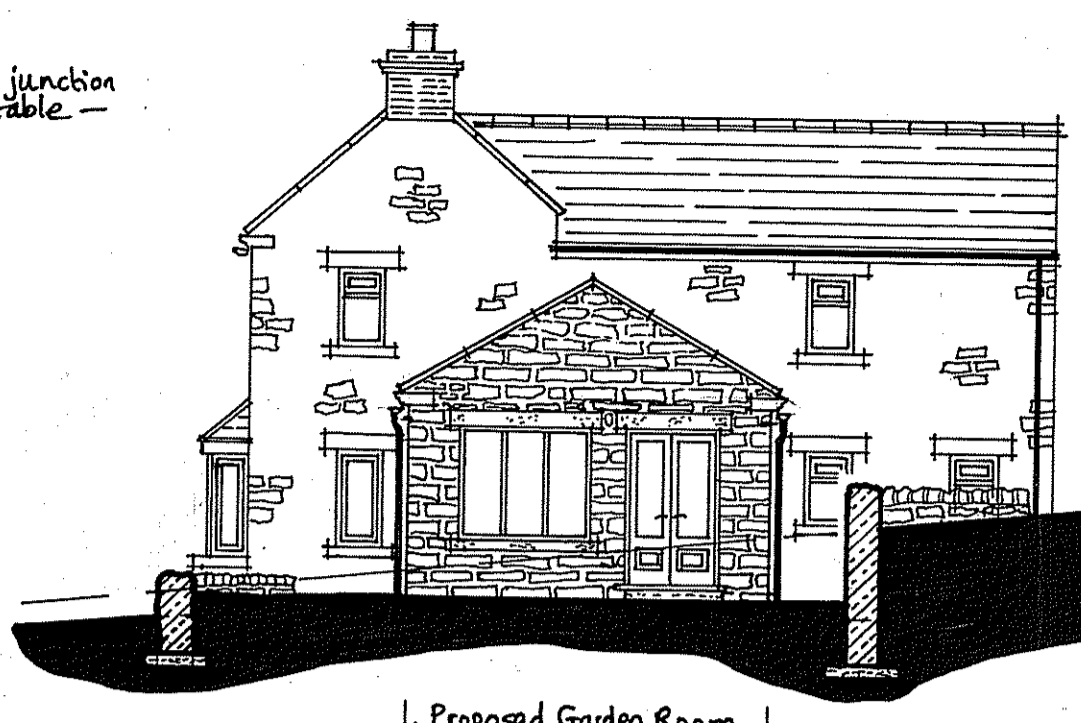
**Planning Notes.**  
 Roof:- Redclay traditional pantiles, to match existing house.  
 Water-table - coping detail to the gable to match existing house.  
 Stone projecting course at the eaves with gutters on rise and fall brackets to match house.  
 External Walls:- Natural stone to match existing house, type of stone and pointing detail as existing.  
 Windows and Doors:- Stained timber as existing house.



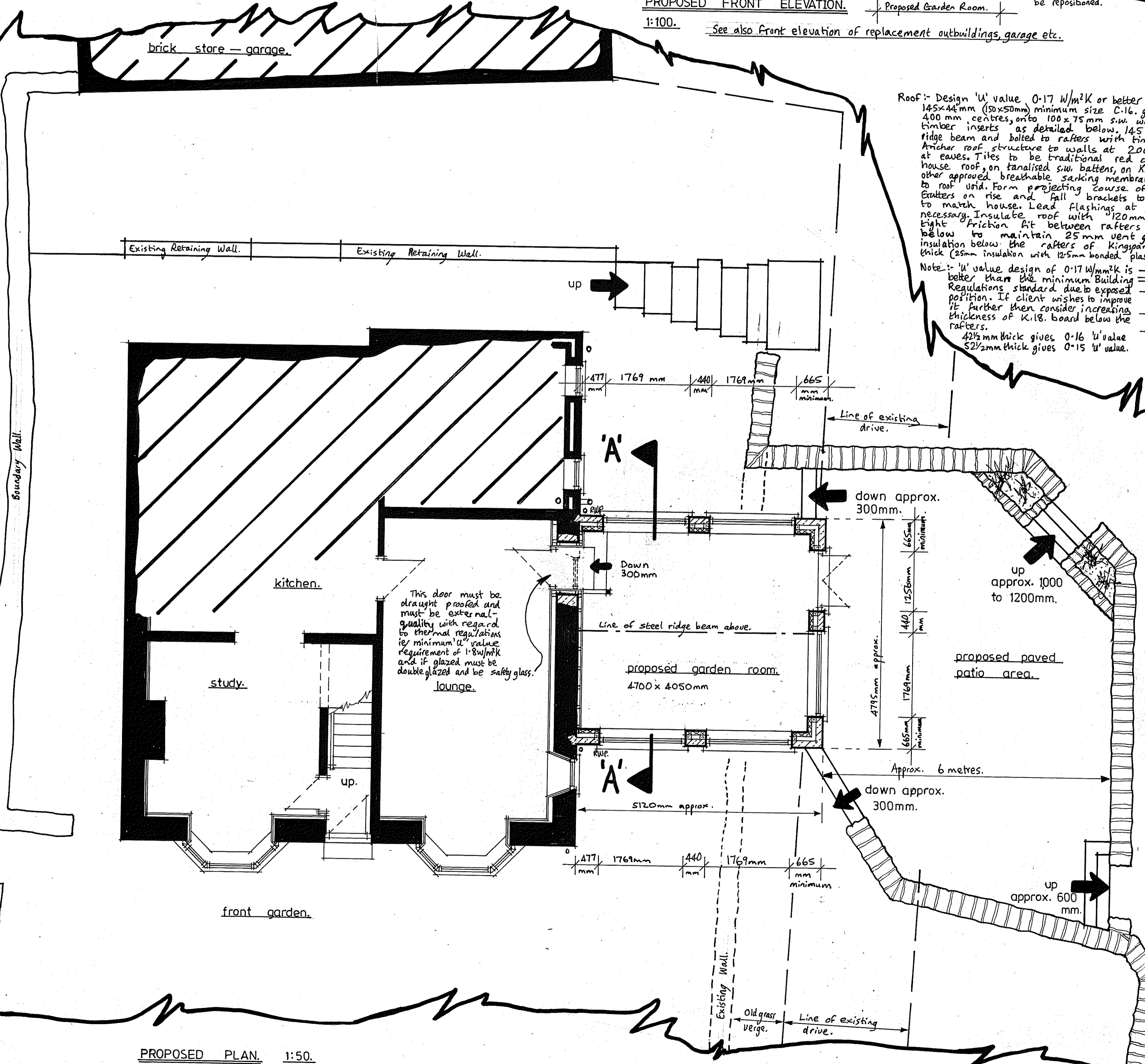
PROPOSED REAR ELEVATION. 1:100.



PROPOSED FRONT ELEVATION. 1:100.  
 Proposed Garden Room  
 Existing drive wall:- to be repositioned.  
 See also front elevation of replacement outbuildings, garage etc.

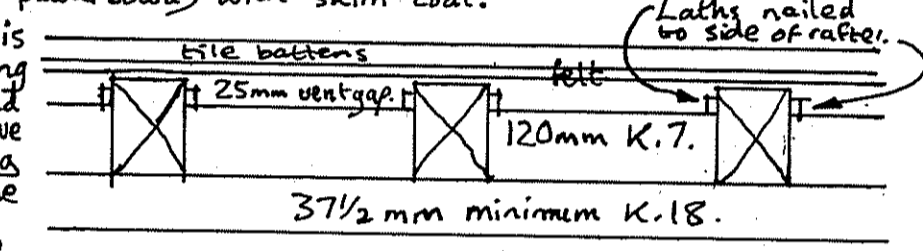


PROPOSED SIDE ELEVATION OF HOUSE AND BRICK BUILT STORE-GARAGE. 1:100.  
 Existing stone built house with pantile roof.  
 Proposed Garden Room  
 Existing drive wall:- to be repositioned.  
 Brick built store-garage with asbestos roof, altered and extended etc. to form stables and boiler house etc. See Drg. No. AI-994-W0717 for full plans etc.



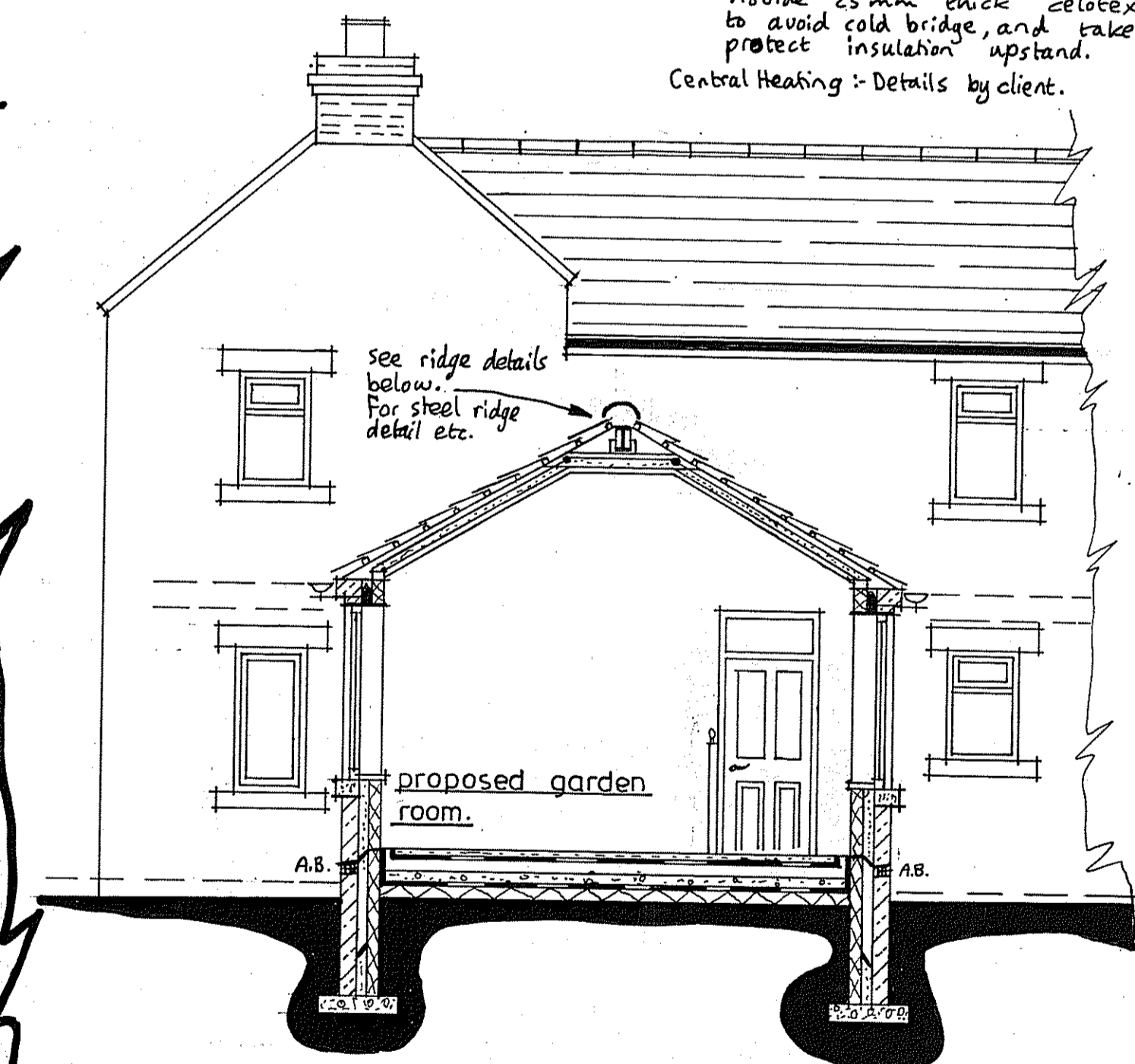
PROPOSED PLAN. 1:50.

**Roof:-** Design 'U' value 0.17 W/m<sup>2</sup>K or better as Kingspan technical information design as follows. 145x44mm (50x50mm) minimum size C.16. grade s.w. rafters at 30° minimum roof pitch and at 400 mm centres, onto 100x75 mm s.w. wallplate at eaves and onto steel ridge beam with timber inserts as detailed below. 145 x 44 mm C.16. grade s.w. ties tight below steel ridge beam and bolted to rafters with timber connector washers, see detail of ridge below. Arched roof structure to walls at 2000mm maximum centres with galv. ms. straps house roof, on tanalised s.w. battens, on Kingspan Nipit breathable sarking membrane or other approved breathable sarking membrane to avoid need to use fascia board. Trusses on rise and fall brackets to match house. Water table-coping detail at gable to match house. Lead flashings at junction of roof and house wall, stepped as necessary. Insulate roof with 120mm thick Kingspan K.7. Kooltherm board with 68mm friction fit between rafters and battens to side of rafters as detailed below to maintain 25mm vent gap above. Finish roof with second layer of insulation below the rafters of Kingspan K.18. Kooltherm insulated plasterboard 3% thick (25mm insulation with 12.5mm bonded plasterboard) with skim coat.  
 Note:- 'U' value design of 0.17 W/m<sup>2</sup>K is better than the minimum Building Regulations standard due to exposed position. If client wishes to improve it further then consider increasing thickness of K.18. board below the rafters.  
 42 1/2 mm thick gives 0.16 'U' value  
 52 1/2 mm thick gives 0.15 'U' value.

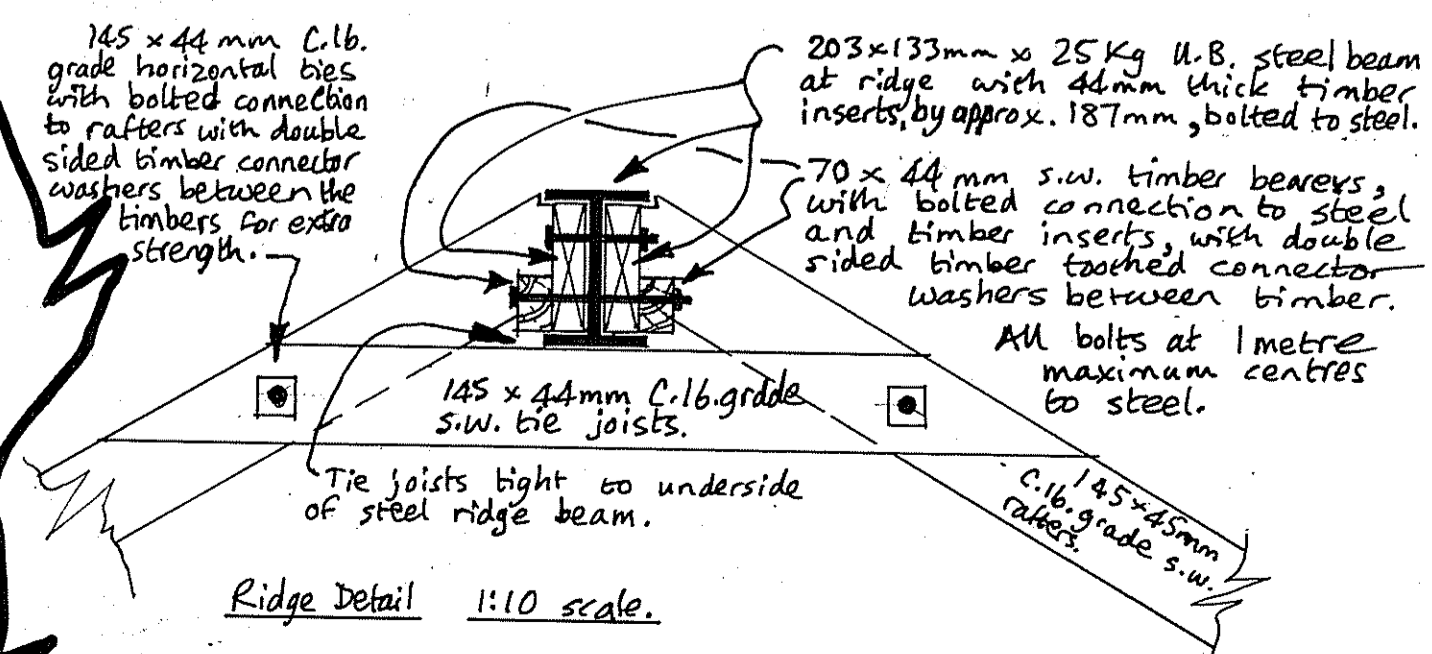


**External Walls:-** Design 'U' value 0.30 W/m<sup>2</sup>K or better. External skin of 125mm on bed natural stone to match existing house in terms of type of stone and type of pointing. Wall to be approx. 137mm total thickness cavity wall with 125mm on bed external skin of natural stone, with minimum 100mm cavity with stainless steel wall ties and with fully filled cavity insulation of 100mm drytherm insulation and internal skin of lightweight thermal blocks, 100mm Hummerblocks Xtralite blocks or other equal approved type, with traditional above ground level and joined in cavity with radon membrane Formira cavity tray and continuous on floor DPM-radon barrier. Ensure cavity insulation connects properly with roof insulation to avoid cold bridge effect. Cavity cavity lintels over openings with stone lintel effect externally. Insulated cavity closers at door and window jambs. Foundations to be 700 x 150mm concrete, founded at approx. 1000 mm below ground level, or as directed by Building Inspector depending on ground condition.  
**Windows:-** Must be stained timber to match house and must be double glazed with argon fill. 'U' value of 1.8 W/m<sup>2</sup>K or better. All glass to windows and doors must be safety glass due to being below 800mm at sill levels.  
**Ground Floor:-** 60 mm sand-cement screed, on 500 gauge polythene vapour barrier, on 80mm thick GA 3080 celotex insulation board, on 100 mm concrete on 1200 gauge polythene DPM, on blinded and consolidated hardcore. DPM to also act as radon barrier and to be taken up edge of concrete and taken through wall to form cavity tray at DPC level for continuous protection. Provide 25 mm thick celotex upstand between wall and 60 mm screed to avoid cold bridge, and take 500 gauge polythene up edge of screed to protect insulation upstand.  
**Central Heating:-** Details by client.

**Electrics:-** Must comply with Part 'P' of building regulations and must be self-certified or inspected and approved by a suitably qualified electrician in accordance with Part 'P' of regulations. Lighting must have a minimum of one in four light fittings complying with the energy efficient types.



PROPOSED SECTION A-A. 1:50.



Ridge Detail 1:10 scale.

**AMENDMENTS**  
 A. March 2010 :- Drawing Finalised ready for submission.  
 B. Further amendments prior to submission.

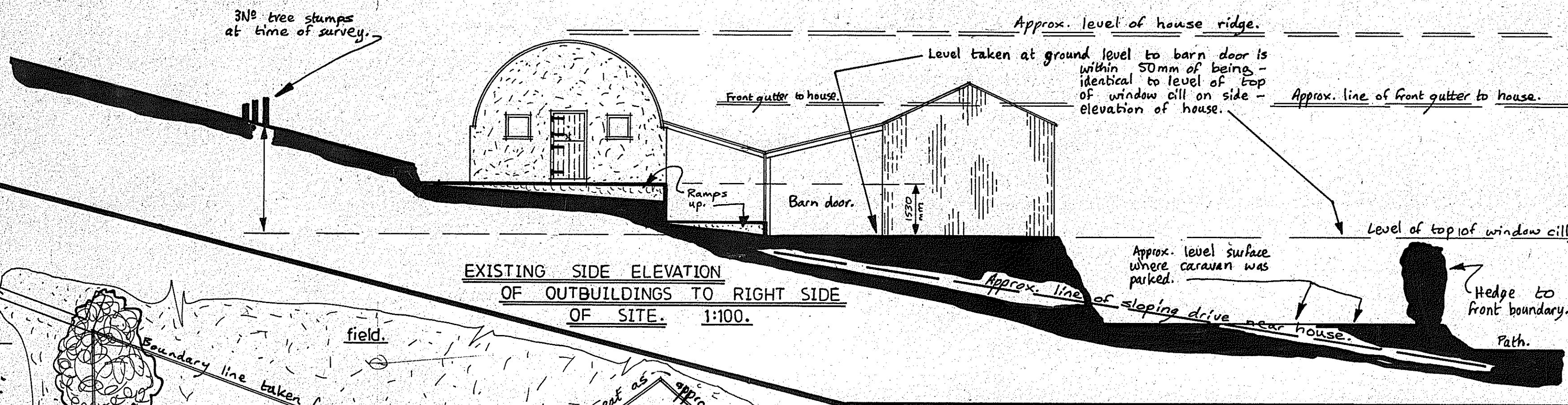
**PROPOSED GARDEN ROOM EXTENSION TO SIDE OF FAIRVIEW, ROBIN HOOD ROAD, RAVENSCAR.**

Client :-	Mr D. Jenkins.
Scale :-	1:50. 1:100.
Drg. No. :-	AI-992-W0717 A B
Date :-	18th October 2009
Drawn By:-	A.E. Welburn.

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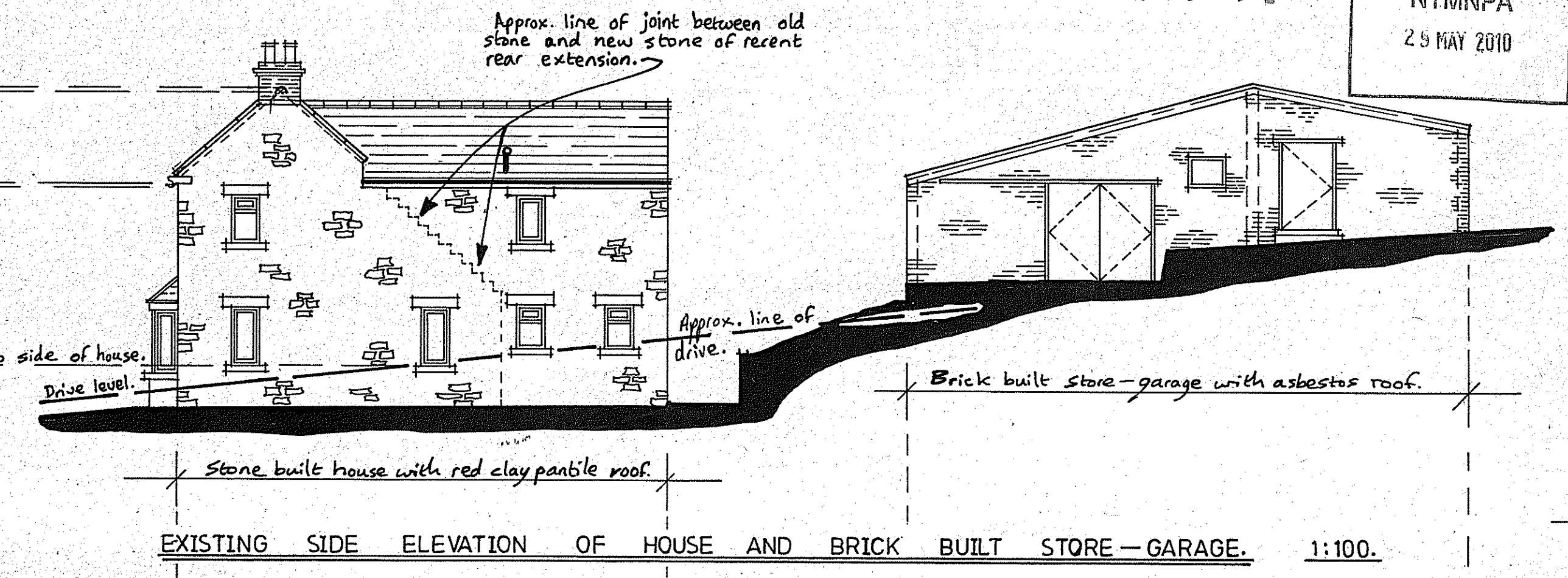


Nissen style building. Presently used as stables. Outbuilding. Barn to front of outbuildings.

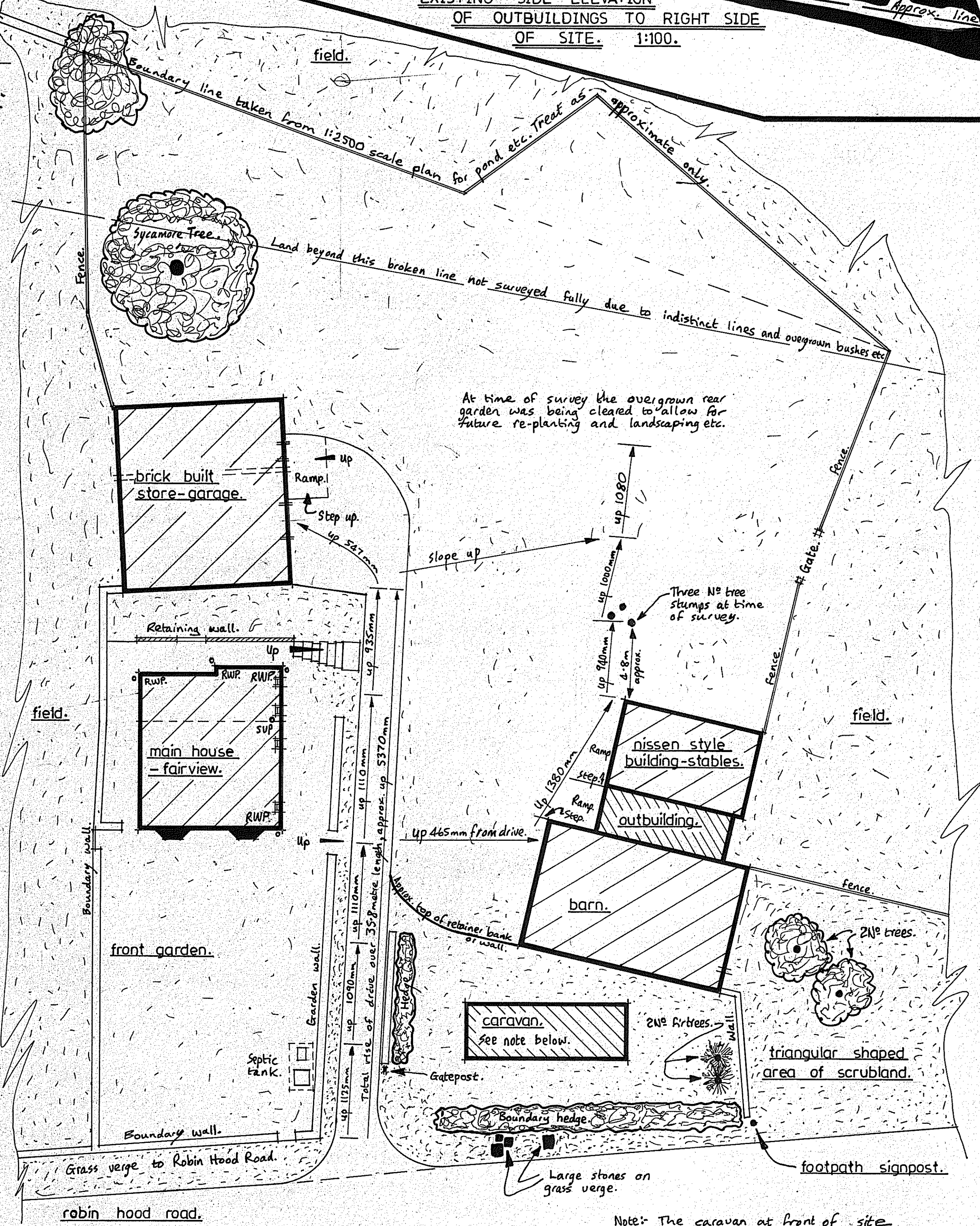


EXISTING SIDE ELEVATION OF OUTBUILDINGS TO RIGHT SIDE OF SITE. 1:100.

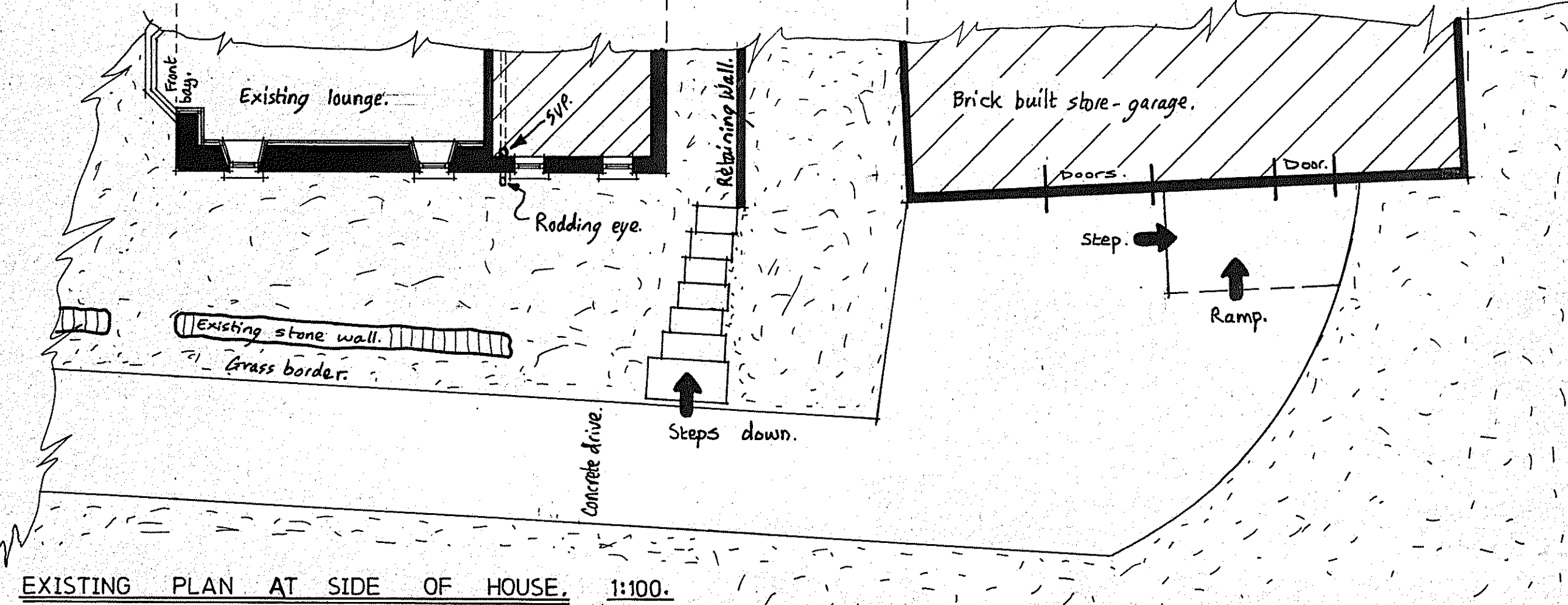
NYM / 2010 / 0409 / FL NYMNP A 25 MAY 2010



EXISTING SIDE ELEVATION OF HOUSE AND BRICK BUILT STORE-GARAGE. 1:100.



EXISTING SITE PLAN. 1:200.



EXISTING PLAN AT SIDE OF HOUSE. 1:100.

AMENDMENTS.

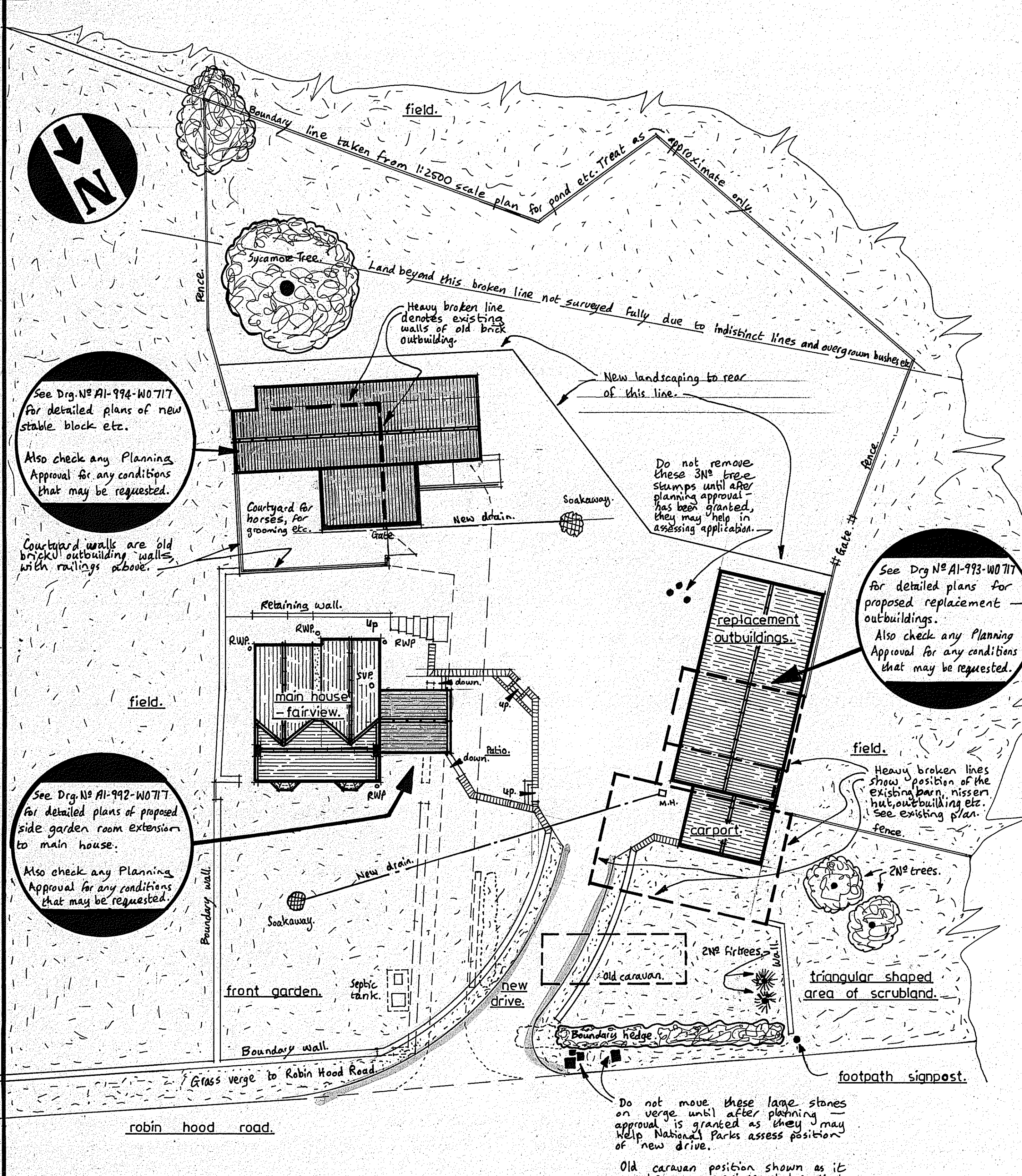
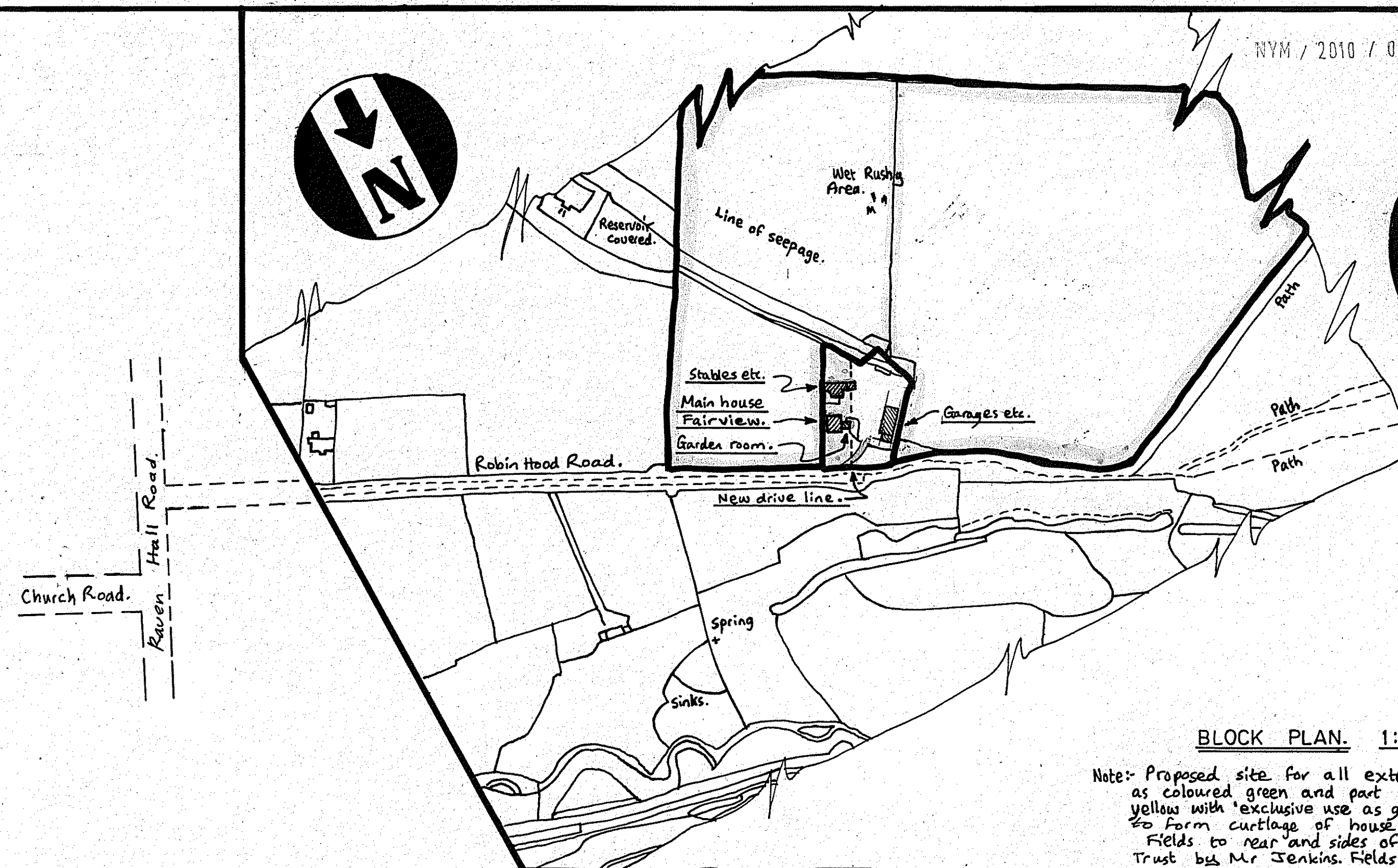
A. Side elevation of barn - stables etc to right side of site added plus other minor changes.

PLANS AS EXISTING AT FAIRVIEW ROBIN HOOD ROAD, RAVENSCAR. :- regarding new site layout, new stable block, new garden room etc.

Client :-	M D Jenkins.
Scale :-	1:200.
Drg. No. :-	A1-990-W0717 A
Date :-	5th October 2009
Drawn By :-	A.E. Welburn.

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AMENDMENTS.	
A.	Pond removed from block plan. Drains added.
This drawing is used for two planning applications.	
Phase One Application :- Garden room and stables and drive, etc.	
Phase Two Application :- Replacement outbuildings	

**PROPOSED SITE PLAN AND BLOCK PLAN ETC. AT FAIRVIEW, ROBIN HOOD ROAD RAVENSCAR.**  
:- regarding new site layout, new stables, garages, garden room, etc.

Client :-	Mr D. Jenkins.
Scale :-	1: 200. 1: 2500.
Drg. No. :-	AI-991-W0717
Date :-	24th February 2010
Drawn By :-	A.E. Welburn

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