

North York Moors National Park Authority

Scarborough Borough Council Parish: Grosmont	App Num. NYM/2010/0444/FL
---	----------------------------------

Proposal: Construction of single storey and two storey extensions (revised scheme to NYM/2009/0341/FL)

Location: Hollins Lodge, Grosmont

Applicant: Ms Joe Cook, Hollins Lodge, Grosmont, North Yorkshire, YO22 5PU

Agent: Jason B Wade, 23 Fairbanks, Wharf Street, Sowerby Bridge, West Yorkshire, HX6 2AB

Date for Decision: 02 August 2010

Grid Ref: NZ 482950 505367

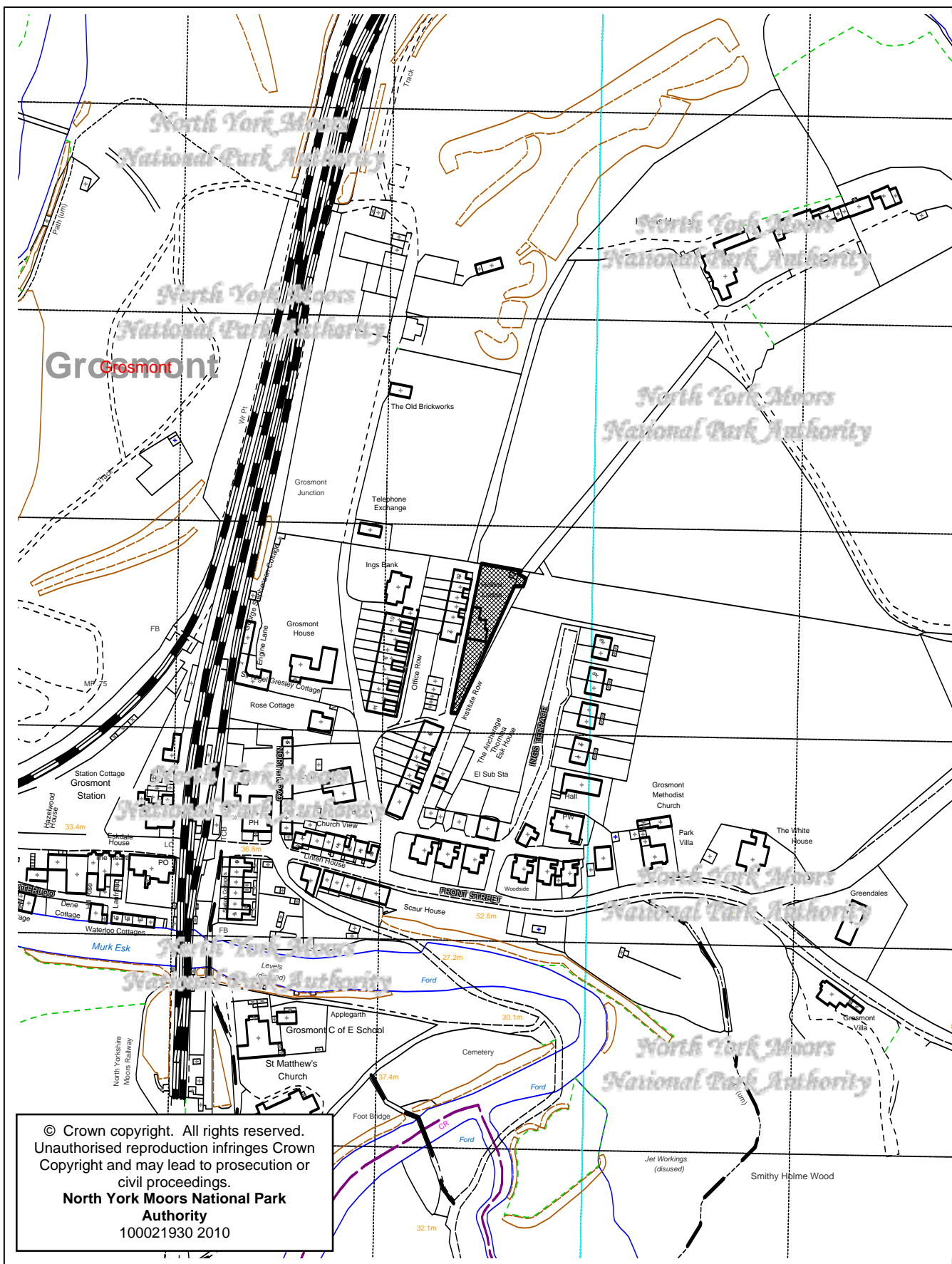
Director of Planning's Recommendation

Approval subject to the following conditions:

1. TL03 Standard three year commencement date
2. AP07 Strict accordance with plans/specifications or minor variation
3. MT12 Render to match existing
4. MT13 Roof tiles to match existing
5. MT60 Windows and doors - timber
6. MT62 Windows & door frames to be white painted wood
7. MT70 Guttering fixed by gutter spikes
8. MT72 Black coloured rainwater goods
9. GA32 Obscure glazing - fixed light

Reasons for Conditions

1. To ensure compliance with Sections 91 to 94 of the Town and Country Planning Act 1990 as amended.
2. For the avoidance of doubt and to ensure the details of the development together with any subsequent insignificant variations as may be approved in writing, comply with the provisions of NYM Core Policy A and NYM Development Policy 3.
- 3 & 4. For the avoidance of doubt and in order to comply with the provisions of NYM Core Policy A and NYM Development Policy 3 which seek to ensure that building materials are of a high quality and compatible with the character of the locality and that the special qualities of the National Park are safeguarded.
- 5 to 8. For the avoidance of doubt and in order to comply with the provisions of NYM Core Policy A and NYM Development Policy 3 which seek to ensure that the appearance of the development is compatible with the character of the locality and that the special qualities of the National Park are safeguarded.
9. In order to comply with the provisions of NYM Core Policy A which seeks to protect the residential amenities of adjoining occupiers.




© Crown copyright. All rights reserved.
 Unauthorised reproduction infringes Crown
 Copyright and may lead to prosecution or
 civil proceedings.
**North York Moors National Park
 Authority**
 100021930 2010



North York Moors National Park Authority
 The Old Vicarage
 Bondgate
 Helmsley
 York
 YO62 5BP
 Tel: 01439 770657

Application No:
 NYM/2010/0444/FL

Scale: 1:2500 



Application No: NYM/2010/0444/FL

Consultations

Parish -

Highways - There are no highway objections in principle to the application. However, it should be noted that the Highway Authority does have concerns that the existing access has poor visibility. The existing access, by which vehicles associated with this proposal would leave and rejoin the county highway, is unsatisfactory since the required visibility of 2 metres by 25 metres cannot be achieved at the junction with the county highway. Any significant intensification of use which may result from any proposed development would be unacceptable in terms of highway safety. Due to the amount of properties already using this access, the Highway Authority will not object to this application, as it is anticipated that the intensification of use of the access will be very small.

Site Notice Expiry Date - 16 July 2010.

Others - Mr Graham Jones, 7 Institute Row, Grosmont - Hollins Lodge already towers over the cottages immediately below it in Institute Row. A further increase in the heights of the building will be out of proportion and may compromise the light available to the cottages.

Mr & Mrs P Cornforth, 10 Institute Row, Grosmont - I am concerned about the height and length of the extension as it will block all of the natural light we have in our property. I also feel that the size of the proposed extension will impose on the view of the village of Grosmont, especially from Egton. Suggest a site visit. Increase in traffic as it is a private road that leads to the property.

Mrs E C Smith, 18 Brunt Road, Rawmarsh, Rotherham (owners of 11 Institute Row, Grosmont)
Strongly object to these plans on the following grounds:

- Extension would cause a serious impingement on our privacy at the rear of our property.
- Notable lack of natural daylight to rear of our property.
- Extension will seriously affect the overall aesthetic view of the village of Grosmont when travelling down to the village from Egton.
- Believe the previous plans for a similar extension were turned down by the Parish Council.
- If passed then during construction will this pose a problem about access to our property if the need arises by emergency services.
- Such an extension may cause a fall in the retail value of our property.

Background

Hollins Lodge is an attractive rendered property with a rosemary tiled roof, ornate tiled string coursing and decorative bargeboards and eaves detailing. It has a mono-pitched one and a half storey extension to the side elevation which although not particularly prominent, detracts from the character and appearance of the property.

In July 2004 planning permission was granted for a single storey lean-to extension to the front elevation and the construction of a pitched roof in place of the existing mono-pitched roof to the side extension along with the erection of a detached double garage in place of an existing single garage. The garage is located in the northern corner of the garden and although it was granted permission as a garage is subsequently being used as holiday accommodation.

Following a series of complaints the Enforcement Team concluded that no change of use has taken place given that no more than 50 percent of the total number of bedrooms are being used for Bed and Breakfast purposes.

Application No: NYM/2010/0444/FL

Background (continued)

Other than the garage the remainder of the extensions covered under the same permission have not been implemented. A revised scheme was refused in August 2008 which included retrospective permission for the retention of a raised decking platform which is attached to the garage/outbuilding currently being used as holiday accommodation.

This proposal is to extend the east facing elevation at single storey level to create an extended kitchen. The single storey element would measure 6.5 metres long by 2.5 metres wide and would have a lean-to roof and tuck in under the first floor window cills.

A further extension to the north facing elevation will replace the existing mono-pitched element to create a two storey extension. The footprint is to be increased by approximately 2 metres in length and the increase in height will be approximately 1 metre to the ridge. The ridge level will remain stepped down from the host building and an external staircase is to be added to the east facing elevation and will lead to a first floor en-suite bedroom. There are to be two openings on the west elevation a small velux rooflight and a central vertical window.

The decking area surrounding the garage is being dealt with as a separate issue and is not covered by this application.

The walls of the extensions are to be rendered to match the existing with red clay rosemary tiles.

The applicant's agent has written in support of the application briefly stating:

The appearance of the proposed works has been carefully considered to blend in but not distract from the aesthetic of the main body of the house. The detailed appearance of the extension has been simplified over the 2009 scheme to lessen its impact on the host building. Elaborate features have been removed and the roof pitch has been reduced.

Main Issues

Policy Context

Core Policy A of the NYM Local Development Framework seeks to further the National Park purposes and duties by encouraging a more sustainable future for the Park and its communities whilst conserving and enhancing the Park's special qualities. Core Policy A is keen to provide development in locations that is of a scale which will support the character and function of individual settlements and recognises that the quality of life of local residents should not be put in jeopardy.

Development Policy 19 of the NYM Local Development Framework states that proposals for development within the domestic curtilage of a dwelling will need to take full account of the special qualities of the Park's nine landscape character areas and architectural character of settlements and will only be supported where the scale, height, form, position and design of new development does not detract from the character and form of the original dwelling or its setting in the landscape.

Development Policy 3 of the NYM Local Development Framework affirms that to maintain and enhance the distinctive character of the National Park, development will only be permitted where the siting, orientation, layout and density preserves or enhances views into and out of the site, spaces about and between buildings and other features that contribute to the character and quality of the environment. Furthermore, the Authority seeks a high standard of design detailing whether traditional or contemporary, which reflects or complements that of the local vernacular.

Application No: NYM/2010/0444/FL

Policy Context (continued)

The Authority's Design Guide states that the key to a successful extension lies in the respect shown to the original building so that it remains the dominant form.

The Design Guide Supplementary Planning Document forms part of the Local Development Framework and therefore has statutory weight and is a material consideration in the determination of planning applications.

The main issues are whether the extensions would complement the character and form of the host building and impact on neighbours.

The Authority's planning policies recognise that extensions are often a convenient way of providing additional accommodation and new structures such as garages are often required for additional domestic storage. However, they should not adversely affect the character of the host building or wider landscape or the amenities of neighbouring residents. In designing an extension applicants are expected to consider the design, scale and materials of neighbouring buildings.

Character and Appearance

The proposal seeks a modest increase in the height and footprint of a non-traditional side extension which the Authority considers would result in a net environmental improvement to the host property through the simple design detailing so as not to detract from the unique architectural character of the host building. The overall massing has been reduced from the refusal scheme and this combined with the simplified appearance creates a pleasing addition.

As such it is wholly in line with the Authority's design approach as the extension is subservient in terms of scale, height, form, position and design and when viewed from all aspects close up and wider landscape views is less detrimental compared with that previously proposed. The development is therefore in compliance with Core Policy A and Development Policy 19 of the NYM Local Development Framework. As such approval is recommended.

Impact on Neighbours

The neighbour's comments are noted. However, Members will be aware that loss of view and loss of value are not material planning considerations. In terms of overshadowing, the proposed increase is a modest one metre which would appear less from the oblique angle it would be viewed from. Such a modest impact on early morning sunlight is not considered grounds for refusal. One new window facing the existing neighbours is proposed, an obscure glazing condition would serve to preserve the existing privacy levels of the residents.

The Authority has formally considered the proposal against the criteria of Development Policies 3 and 19 and in weighing up the proposal it is considered unlikely that the development will be unduly prominent or have an adverse impact on neighbouring residential amenity.

Application No: NYM/2010/0444/FL

Highway Comments

The Highway Authority has raised concern that the existing access has poor visibility but is not in a position to object to the application as it is anticipated that the intensification of use of the access will be very small.

The application indicates that the additional accommodation is to be used in the same manner as the host building and does not mention whether the additional accommodation at first floor level is to be used for domestic or Bed and Breakfast. There is however, a strong feeling from neighbouring residents that the latter is the case given that the proposal introduces an external staircase. In the event that the applicants seek to use any part of the house as an independent holiday letting within the house an application for change of use would be required for Members to consider.

Planning Balance

As the proposed extension would be relevantly modest, not have an adverse impact on the host property or its setting and not adversely affect the amenities of neighbours, the proposal is considered acceptable.

Reason for Approval

The extensions and alterations are considered to respect the character and form of the host building in terms of scale, height, form, position and the design of the development does not detract from the character and form of the original dwelling, its setting in the landscape or that of the residential amenity of neighbouring properties. The development is therefore in compliance with Core Policy A, Development Policies 3 and 19 of the NYM Local Development Framework.