

DESIGN, ACCESS & HERITAGE STATEMENT

THORPE HALL, FLYINGTHORPE

FOR

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imaginative architecture + engineering design

bhd
partnership

Address: Airy Hill Manor,
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View of Thorpe Hall, Rear Elevation

WILKINSON
19 MAY 2011

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1. Introduction

1.1.

This document is a Design Access & Heritage Statement to accompany the enclosed detailed planning application and listed building consent for alterations to Thorpe Hall in the village of Fylingthorpe, North Yorkshire.

The scheme is illustrated in the following drawings: -

D9941-01	Location Plan
D9941-02	Existing General Arrangement
D9941-03	Proposed General Arrangement
D9941-04	Project 1 – Existing
D9941-05	Project 1 – Proposed
D9941-07	Project 2 – Existing
D9941-08	Project 2 – Proposed
D9941-09	Project 3 – Existing
D9941-10	Project 3 – Proposed
D9941-11	Project 4 – Existing
D9941-12	Project 4 – Proposed
D9941-13	Project 2 – Door and Window Details

1.2.

It should be read in conjunction with the attached Method Statement (MS9941-01). This report has been prepared by BHD Partnership and includes photographs of the site and surrounding area and will assist in the comprehension of this document.

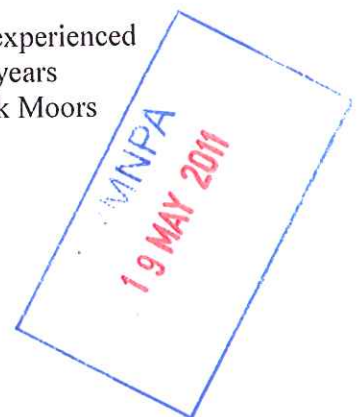
1.3.

The detailed plans have been prepared by this company, BHD Partnership, an experienced Architecture and Engineering Design Company based in Whitby with over 25 years experience in working with Listed Buildings within the Whitby and North York Moors National Parks.

2. Design – Use

2.1.

Thorpe Hall is 17th century Grade II star listed Elizabethan Manor House situated within the village of Fylingthorpe on the North Yorkshire coast, west of Robin Hoods Bay. The Manor House lies to the south west of the centre of the village along Middlewood Lane off Sledgates



/ Thorpe Lane, the main road running through the centre of the village. The building sits within its own grounds with some associated stable buildings to the east of the main house.

2.2.

The oldest part of the building lies to the west with the original main entrance on this side of the building. Two distinct later additions formed the central and east wings. Additional utility buildings on the eastern aspect form the boiler room (project 2) and a small store to the north east corner.

2.3.

The application is for alterations mainly effecting the interior of the building within four specific areas and are briefly described as follows (see drawing D9941-03) -

Project 1 – Alterations to ground floor boiler room building and W.C. to form new entrance porch and w.c.

Project 2 – Alterations to ground floor bedroom and W.C. to form ensuite and additional ground floor W.C.

Project 3 – Alterations to first floor double height playroom, adjacent bedroom and attic to form new mezzanine and attic bedroom.

Project 4 – Alterations to 2 attic storey bedrooms and adjoining W.C. to form two new ensuite facility.

2.4.

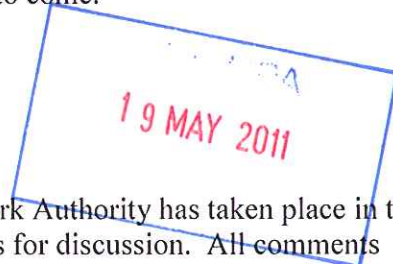
There are no plans to make any major external changes to the building. External changes are limited to the addition of a single window and a replacement door within the alterations to the utility building (see Drawing D9941-02, D9941-04, D9941-05).

2.5.

The alterations are part of a continual programme of maintenance planned by the clients to ensure the heritage of the building is preserved for years to come.

2.6.

Considerable liaison with North York Moors National Park Authority has taken place in the form of site visits and submission of preliminary schemes for discussion. All comments received from the conservation officer have been incorporated in to the finalised scheme as part of this application. This displays the clients commitment to sensitive and appropriate refurbishment of the structure in line with recommendations of the local authority.



2.7.

Vehicular access to the building will not be affected and does not form any part of the proposals.

3. Amount

3.1.

Our clients are a married couple with a small family and are self employed entrepreneurs running their businesses from a home office located to the eastern half of the house allocated as their dwelling. The rest of the rooms are let out seasonally as bed and breakfast rooms. The improvements to the building seek to enhance their own living quarters in line with future expansion of their family and business, and also enhancement of the comfort of their residents.

3.2.

The dwelling is made up of the eastern half of the building over two floors with kitchen /diner and lounge to the ground floor and bedrooms above; along with some areas of the rear ground floor forming the drawing room and sitting areas. Over the kitchen / lounge at first floor level is a substantial double height room currently used as a play room with clients bedrooms located adjacent.

3.3.

A full measured survey has been conducted of the areas under consideration, along with a photographic survey and notes made of the existing structure and materials.

3.4.

The next section will deal with the amount of refurbishment proposed for each area;

3.5.

Project 1 - Alterations to ground floor boiler room building and W.C. to form new entrance porch and w.c.

The principle of the alterations are to create a new entrance porch with space cloaks and boots, in to the dwelling from the utility room as an alternative to the ground floor kitchen entrance. This will involve stripping out the existing outdoor w.c. and relocating it to the rear of the utility, removal a redundant water tank and flue pipe to side and rear, and inserting a new insulated floor to the entrance porch. Externally, a new replacement external solid timber door will be inserted into the existing door opening, along with a replacement timber panel door to the boiler room. A new window opening to the new w.c. will be carefully detailed to match the existing windows on this elevation. (see window and door detail drawing D9941-13). The new porch will measure 1050mm wide x 2000 wide, and the new W.C. measure 1190mm x 2400mm. The new window will measure 520mm wide x 950mm high.



Image 01 – Utility / Boiler Room

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3.6.

Project 2 – Alterations to ground floor bedroom and W.C. to form en suite and additional ground floor W.C.

Alterations in this area will create a new door way from the ground floor bedroom to the existing adjacent W.C. to form an en suite facility. An additional ground floor W.C. will be formed within an existing passage way leading to the existing w.c. under the stairs. Of particular interest to the conservation officer in consultation was the removal of the existing panelling to the left side of the stone fire place to form the door opening, and also the intention to re construct the timber panelling into a new door. The construction method of the door panel has been dealt with in further detail in the separate Method Statement (MS9941-01) at the request of the conservation officer. Reference should also be made to drawing D9941-07 and D9941-08). The existing W.C. will be refurbished and re tiled with a new layout to suit the alterations. The new w.c. under the stairs will measure 950mm long x 650mm wide. The client is aware of the less than standard size of this area, but confirms that it only be for occasional use by residents.



Image 02 – Panelling to be removed to the left of fireplace

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3.7.

Project 3 – Alterations to first floor double height playroom, adjacent bedroom and attic to form new mezzanine and attic bedroom.

The alterations are in relation the double height first floor play room belonging the clients living quarters. (see drawing D9941-09 and D9941-10). The room is currently used by their young daughter as a play area and is attached to her bedroom. The intention of the proposals is utilise the double height of the room and create a mezzanine floor with a staircase leading upto it. It is also proposed that the attic space above the bedroom is refurbished and turned in to an additional bedroom for relatives and friends accessed from the mezzanine. To increase the head height in the attic room, it is proposed to lower the ceiling above the bedroom by approximately 430mm. The mezzanine level will measure 2.3m x 4.8m and will be 2.6m high. The mezzanine takes up approximately have of the full length of the room which measures 9.8m long.

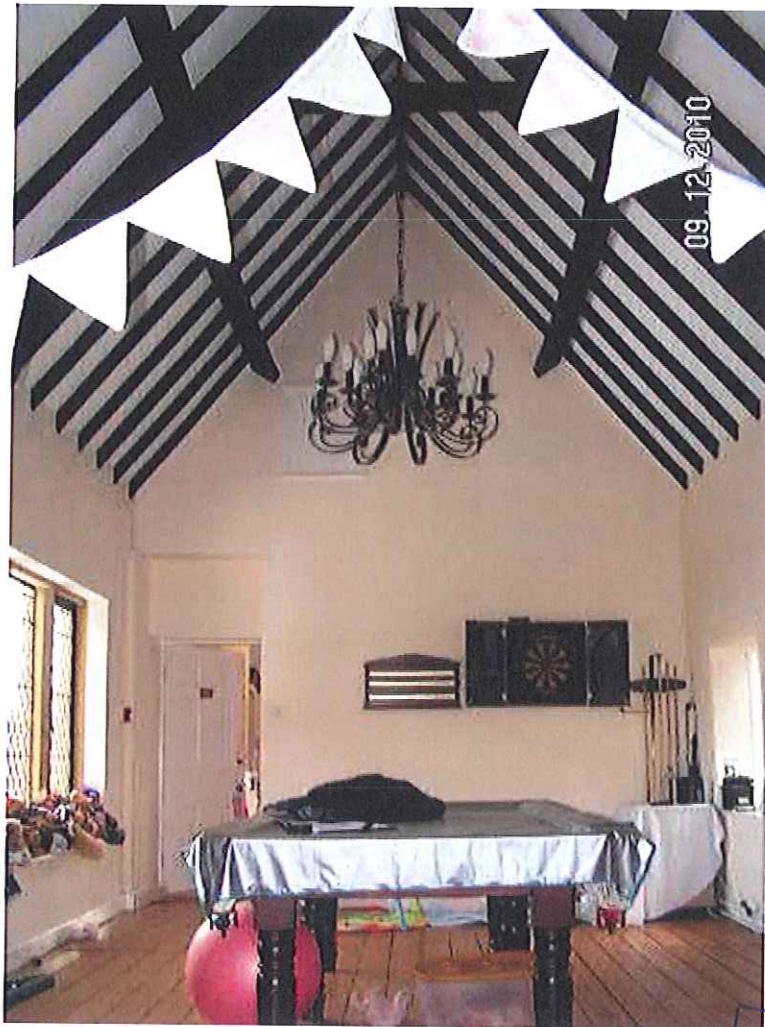


Image 03 – Double height Playroom

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3.8.

Project 4 – Alterations to 2 attic storey bedrooms and adjoining W.C. to form two new ensuite facility.

The proposals for this project are in relation to two bedrooms and a W.C. located on the top attic floor within the roof space of the west wing. The intention is to form a new access door from bedroom 8 into the existing W.C. and form a shower room, and form a shower room and w.c. within bedroom 7. This would involve removal of part solid partition on in bedroom 8 and formation of new studwork within bedroom 7.



Image 04 – Bedroom 7

Existing original timber beams within each room would not be altered and every care would be taken to ensure that they were not damaged and were carefully incorporated into the design of the ensuites. The ensuite to bedroom 7 would measure 1.1m x 2.2m and the ensuite to bedroom 8 would measure 1.2m x 2.2m.

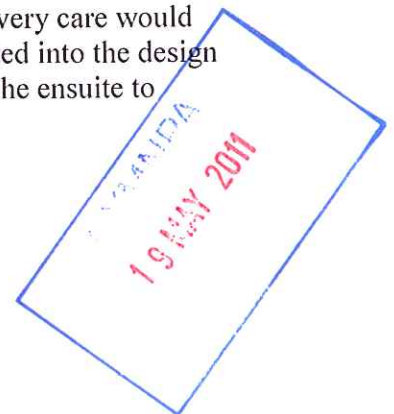




Image 05 – Bedroom 8

The existing walls between the rooms and adjacent W.C. are solid masonry / stone with a painted render finish. A stone lintel would be inserted in the wall between bedroom 8 and the existing W.C. and a new solid timber panel door inserted. All plumbing works would run to the existing soil and vent pipe which runs behind the existing toilet.

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4. Layout

4.1.

Project 1 - Alterations to ground floor boiler room building and W.C. to form new entrance porch and w.c.

For the proposed layout reference should be made to drawings D9941-03, D9941-04 & D9941-05. The layout of the interior space has been affected by the need to maintain the position of the boilers as removal of them would be too costly and impractical. The new opening through the stone wall would be through the existing alcove on the living room side and there is evidence to suggest that this is a blocked up door opening from when the utility extension was built over it.

4.2.

Project 2 – Alterations to ground floor bedroom and W.C. to form en suite and additional ground floor W.C.

Through consultation with the conservation officer, the layout of this area has been changed in accordance with the officers recommendations. The W.C. under the stairs original project much further into the stair well. This has been greatly reduced so that there is no visible alterations from the stairwell side. This ensures that there is no disturbance to the existing original staircase which forms an important feature of this part of the building.

4.3.

Project 3 – Alterations to first floor double height playroom, adjacent bedroom and attic to form new mezzanine and attic bedroom.

See drawings D9941-09 and D9941-10 for the proposed layout. The design of the mezzanine takes full advantage of the double height space within this room. The alternative would have been to split the room with a ceiling, however, this would have destroyed the original geometry of the space. The mezzanine increases the floor space in this area, whilst maintaining the double height effect of the room, and maintaining the roof timbers as an important feature. It is to be noted that the roof timbers will not be altered or affected by the insertion of the mezzanine. Careful engineering by BHD Partnership will be undertaken to ensure that the design of the modern lightweight steel and timber structure of the mezzanine avoids creating unnecessary structural openings within the existing walls and floor.

4.4.

Project 4 – Alterations to 2 attic storey bedrooms and adjoining W.C. to form two new ensuite facilities.

The layout of the W.C.'s has been carefully considered to ensure that the size is in keeping with the building and sizes of the adjoining rooms and do not encroach on the bedrooms unduly. Detailed investigation of the walls reveals that they are solid stone which run from

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between all three floors of the building to form a hallway on the ground floor, therefore structural alterations to these walls will be kept to a minimum in the form a new door opening from bedroom 8. The opening can then be easily blocked up in the future to return the wall to its original state. The same can be said for the timber stud walls to the new en suite may easily also be removed in the future to return the rooms to their original layout.

5. Scale

5.1.

Project 1 - Alterations to ground floor boiler room building and W.C. to form new entrance porch and w.c.

The proportions and scale of the new door and window will be in keeping with similar windows and doors on this elevation. With regards to the new window, particular attention has been paid to the dimensions of the window located within the sitting room on the ground floor next to the dining and kitchen and have been matched as closely as possible. Reference should be made to the Method Statement and door and window detail drawing D9941-13.



Image 06 – Existing wrought iron window



5.2.

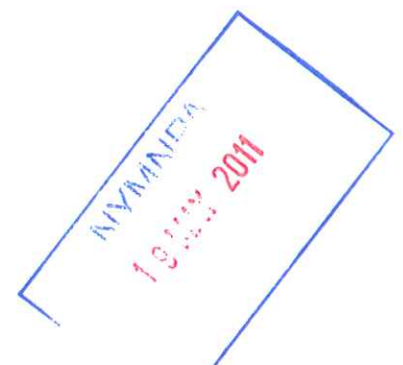
Project 2 – Alterations to ground floor bedroom and W.C. to form en suite and additional ground floor W.C.

The size of the spaces within this area will not alter a great deal. The existing door leading into the new w.c. on the hall way side will be re used therefore there will be no visible change to the layout of the stair well. The size and scale of the timber panelling to be removed is discussed in greater detail within the Method statement, however, it should be noted that every effort will be taken to ensure that the alterations are carried out in a sensitive manner by qualified persons with specific experience of listed buildings.

5.3.

Project 3 – Alterations to first floor double height playroom, adjacent bedroom and attic to form new mezzanine and attic bedroom.

It is felt that the size of the mezzanine is appropriate to the shape of the room. It will take up around half of the floor area (approx. 4.8m) whilst still retaining the effect of the double height. The height of the existing room is approximately 5.4m therefore will comfortably accommodate the mezzanine floor and will also enhance the usability of the space. It is proposed that the ceiling be lowered in order to gain further head height within the proposed attic bedroom refurbishment above. The exact ceiling construction will be established prior to stripping out. The existing plaster ceiling covings will be re used where possible, or matched as close to the original. The attic will be refurbished to form a new bedroom. Works will include: insulating between the existing rafters and under drawing with plasterboard and a plaster skim; insulated internal dry lining of exposed exterior walls with a plaster skim; careful removal of the existing ceiling timbers to be re used where possible; sound insulation of the floor void and strengthening of the floor with additional timbers where necessary; over boarding with new timber floor finish; refurbishment of the existing wrought iron window in the gable end; installation of plumbing to ensuite w.c.; wiring installation for lighting and sockets; installation of traditional softwood timber skirtings and architraves where required.



5.4.

Project 4 – Alterations to 2 attic storey bedrooms and adjoining W.C. to form two new ensuite facility.

The scale of the new en suite in bedroom 7 is in keeping with the size of the room taking up approximately one fifth of the existing floor space within each room. Pipe work runs will run to an existing internal syp which also serves the bathrooms on the floor below. The existing door to the bathroom will be blocked up in timber stud and plastered or the existing toilet door kept permanently locked. Covings and architraves to the doors and ceilings will be soft wood timber to match the existing.

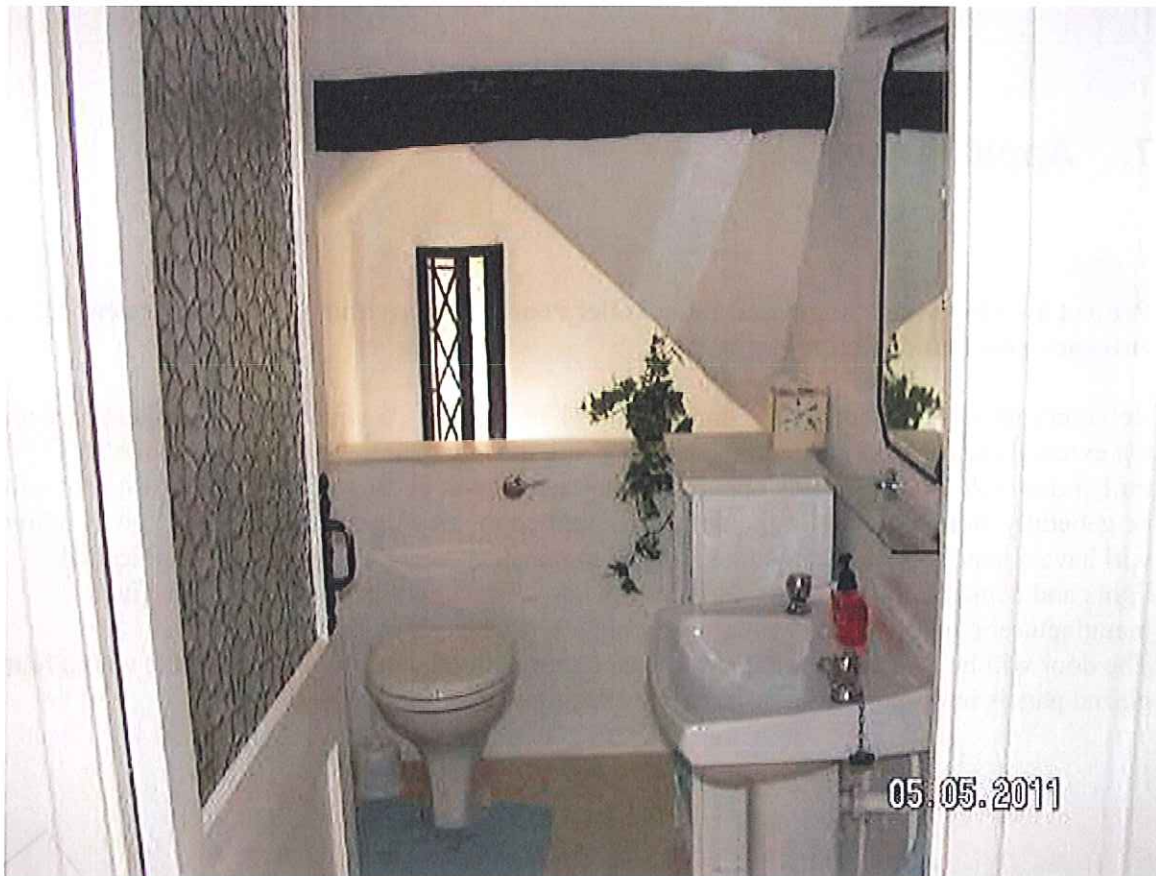


Image 07 – Existing attic floor w.c. between bed 7 & 8

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6. Landscaping

6.1.

There is no specific landscaping associated with this scheme. However, some digging may be required within some external areas to establish existing drainage runs for the new ground floor toilets. If this is required, every effort will be undertaken to ensure that the external appearance of the hardstanding / stone paths are returned to their original appearance.

7. Appearance

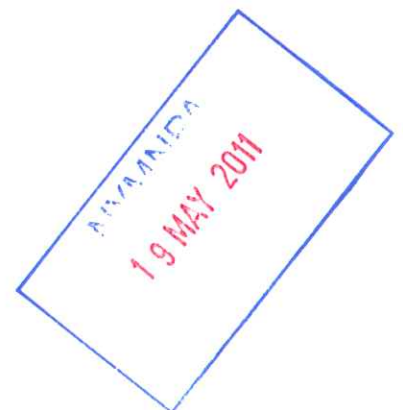
7.1.

Project 1 - Alterations to ground floor boiler room building and W.C. to form new entrance porch and w.c.

Reference should be made to drawing D9941-04 and D9941-05 which show the alterations to the external appearance. The main changes being the new window and insertion of a new timber door within the existing opening. Final details will be agreed with NYMNPA, but will be generally along the lines of the details as outlined in drawing D9941-13. The new window will have a hand tooled stone work surround to match adjacent windows. All lead leaded lights and construction of the wrought iron window frame will be carried by a specialist manufacturer along with the wrought iron hinges, catches and turnbuckles.

The door will be a solid timber external panel door painted white as per the details with a four glazed panels in proportions similar to the existing door to the kitchen.

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7.2.

Project 2 – Alterations to ground floor bedroom and W.C. to form en suite and additional ground floor W.C.

As mentioned previously, further details of the materials and construction method can be found in the attached Method Statement. Exact details will be agreed with the NYMNPA, but generally, the panelling to the side will be re used to form the access door, and will re use original ironmongery where possible. The interior of the bathroom is likely to be fully tiled in a plain coloured tile, final samples of which will be agreed with the conservation officer. New sanitary ware will be plain white ceramic. The details of the sink surround have not been finalised but is likely to be natural stone, marble or timber effect in keeping with traditional materials used throughout the building.

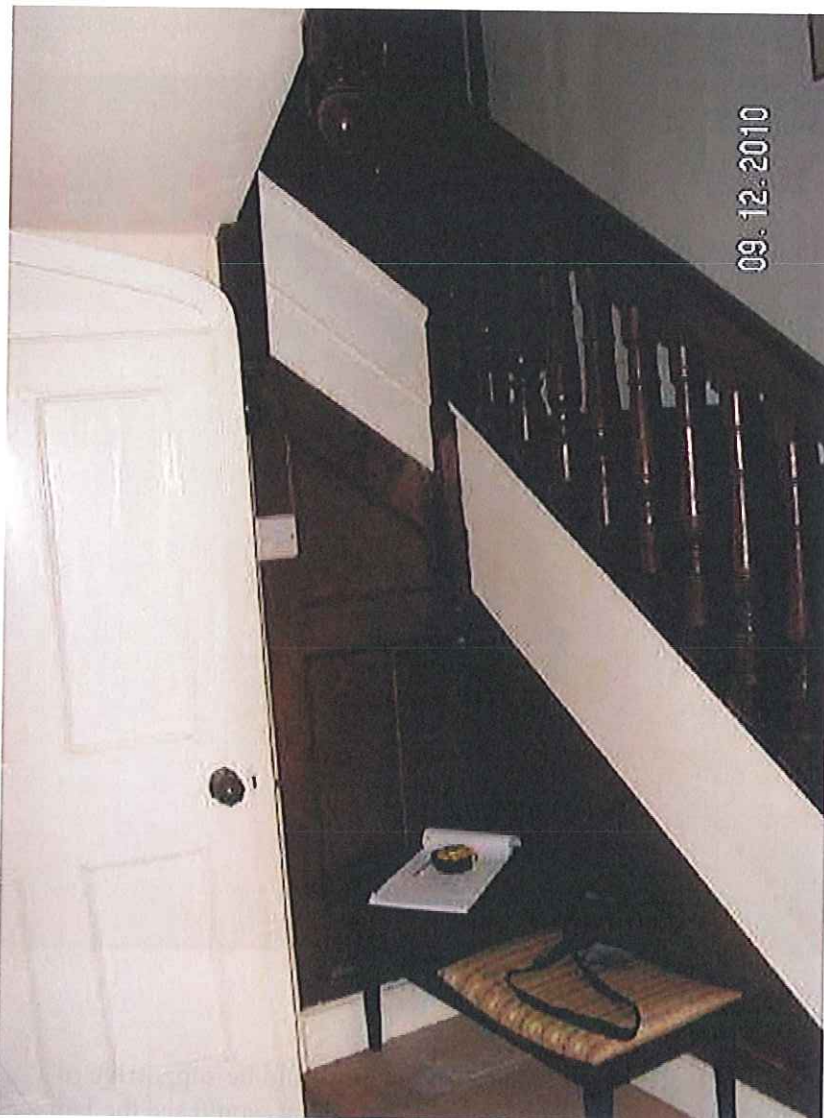


Image 07 – Image of stair well and existing door leading to W.C.



7.3.

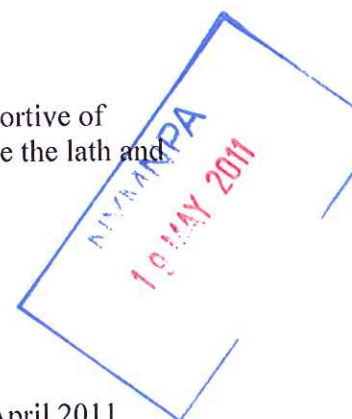
Project 3 – Alterations to first floor double height playroom, adjacent bedroom and attic to form new mezzanine and attic bedroom.

The design of the new mezzanine will be in a high quality contemporary style to contrast with the traditional construction. Reference should be made to drawing D9941-10. The construction is likely to be of lightweight steel with oak flooring and toughened glazing to the guard rails with an oak handrail. The balusters are to be carefully detailed in steel with toughened or laminated glass inserts between. The spiral staircase will be in mild steel or cast iron, with oak treads. The soffit/ ceiling of the mezzanine will be white plaster with spotlight inserts. The glazed screen at the higher level within the existing gable end will have a thin steel or aluminium frame to support the toughened glass panels and doors which will throw light into the attic room.



Image 08_ -

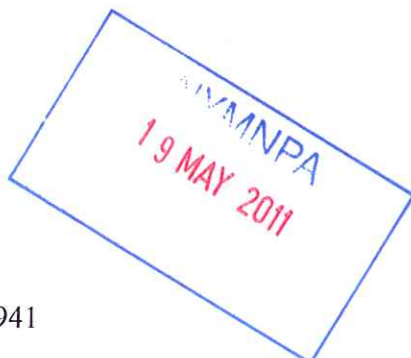
The conservation officer has formally indicated that the authority would be supportive of lowering the ceiling in bedroom on the basis of ‘mitigation’ works that would see the lath and plaster ceiling restored and the plaster mouldings to the coves replaced.



The existing ceiling is the tie beam forming part of the roof above. The finish is likely to be traditional lathe and plaster, although the true of the ceiling cannot be established until proper access can be gained from a high level hatch within the play room. Preliminary observations via a set of ladders show that the ceiling is of timber construction. Some structural design may needed to ensure that the roof above is correctly supported once the ceiling ties are removed. This is most likely to be in the form of additional steel / timber purlin support or ridge beam to the rafters at a higher level within the roof space to counteract potential roof spread.



Image 09_ - Attic space above bedroom next to playroom with original window in the gable end.



7.4.

Project 4 – Alterations to 2 attic storey bedrooms and adjoining W.C. to form two new ensuite facility.

Final materials will be agreed on site, but generally, the walls of the new en suite in bedroom 7 will be a painted render finish. The doors will be timber panel with appropriate ironmongery in keeping with the building. The timber trusses will be built into the stud walls and kept exposed so that they are incorporated into the alterations and not hidden away. The finishes within the bathroom are to be agreed, but again are likely to be high quality tiles to walls and floors and white traditional white ceramic sanitary fittings, along with a white painted plastered ceiling with one or two spotlights.

8. Access

8.1.

Access to the building is via a drive from the road leading up to the house. The existing access will not be affected, neither will the amount of traffic to the property be increased from its current levels, as there is no change to the number of bedrooms. Every effort will be undertaken to ensure that the building complies with current accessibility legislation, given the constraints of a listed building. All rooms will be well lit, and switches and sockets will be at an appropriate height to comply with part M of the building regulations.

