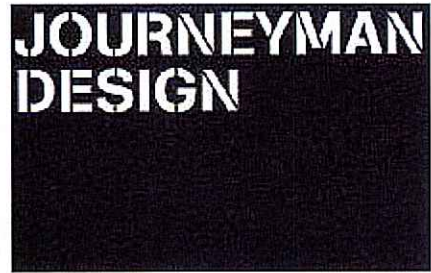
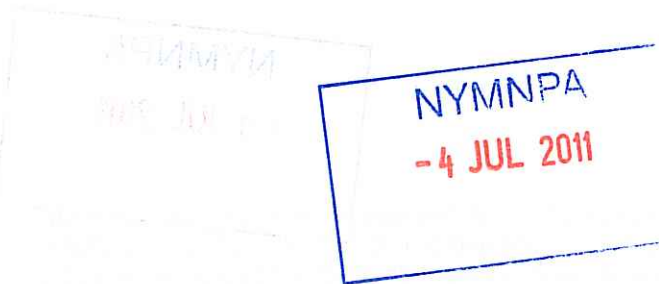


## Amendments

- Amended layout of buildings/outside areas
- Additional background information
- Amended design
- Revised access arrangements
- Change of description of proposed development
- Change in site boundaries
- Other (as specified below)



The Huntsman Inn, Main Road, Aislaby, Whitby, North Yorkshire, YO21 1SW

## HM PL-04 Design & Access Statement

Revision B. 2 July 2011.

### INTRODUCTION.



Aerial view of The Huntsman Inn, located on Main Road, Aislaby.



This planning application seeks approval for the removal of the original dilapidated buildings and the construction of a two storey rear extension to the existing Huntsman Inn.

The works will also include for the full remodelling and refurbishment of the building layout to provide enhanced facilities for the general public at ground floor level along with a manager's apartment and a number of guest rooms on upper floors to provide an additional revenue stream to the core business of the public house.

Following a detailed pre-application consultations with the National Parks Planning Authority this submission presents a full plans application for formal consideration.

The drawings included with this document are as follows:

- HM PL-01 (REV C): Site location plan.
- HM PL-02 (REV B): Existing & proposed floor plans.
- HM PL-03 (REV A): Existing & proposed elevations.

This supporting statement is to be read in conjunction with the above drawings.



## DESIGN STATEMENT

### *Use –*

The building is used as a public house with catering, sanitary and manager's accommodation. This application seeks to retain that existing land use and provide a new facility for the village of Aislaby which has been without this service since October 2009 when the previous brewery owner closed the building and placed it on the open market.

During this period there have been a number of meetings with the National Parks to develop the design content of the scheme which has shaped the proposals described within this application. In addition, the building has also been de-listed by English Heritage although the applicant acknowledges that it remains within the conservation area of the village centre.

Whilst the building is currently vacant and awaiting development the long term future appears more positive for this Public House than others in the same predicament.

1. The facility has been released from the brewery/landlords agreements that tie future tenants into unwieldy agreements, from both a practical and economic point of view, that can prevent the business from growing and responding to local needs.
2. The applicant is focused on delivering a new level of service with appropriately skilled on site management who can work together to develop the business into a successful and viable operation that will hopefully preclude this situation from arising in the future.
3. The local community and surrounding area will benefit from the reinstatement of this facility which will once again provide a focal point for the village playing an active role within the lives of the residents. Other developers could simply have gone for a conversion to residential which would have lost this opportunity for ever.
4. In order to strengthen the viability of the new business, the application seeks to include a number of additional guest rooms on the upper floors of the new extension. The explicit purpose of these rooms is to add diversity and an additional revenue stream to the previous business model which was solely focused around a food & drink public house.

Whilst primarily a village pub; the provision of ensuite lettable rooms will allow the business to make the most of its setting and context. Aislaby lies adjacent to the main Whitby to Middlesbrough road and is unusual in that it has two points of connection to that same road which enables traffic to easily access and leave the village.

The tourist potential of Whitby is not in question and draws hundreds of thousands of visitors every year. This is clearly a large and additional potential customer base for the rejuvenated public house. There are local examples of businesses on the main arterial road that, with the right management and business direction and a lot of energy invested have flourished as a result of the public exposure they receive.

Obviously the renovated public house needs to get 'up and running' and establish itself and its service as a notable venue in the area as these things rarely happen over night. Whilst this process develops the location of the business means that; working in tandem with other operations, it could readily offer its accommodation as supplementary to other businesses in the area. Wedding parties, group bookings, reunions etc. Where reasonable numbers of people want to use a principle venue for an event, it may be that there is insufficient accommodation to house all those attending. With the right approach to marketing and forming of business relations in and around the community there is no reason why the lettable rooms proposed in this application could not develop into a successful operation on their own merit.

This 'stay over' approach would be an ideal marketing tool to allow those staying to discover the location and services offered by the public house. What would ultimately

NYMNP

- 4 JUL 2011

**Proposed area of accommodation created through reinstatement and extension of the existing building:**

Cellar:	15.11sqm (Subject to ground conditions).
Ground floor:	69.52sqm
First floor:	54.33sqm
Attic floor:	60.84sqm

**Gross total (including cellar): 199.80sqm**

Gross total (excluding cellar): 184.69sqm



***Scale-***

The new structure will be two storey with accommodation in the roof structure similar to the layout of the existing building to the front of the site.

Through discussions with the planning department the design has been shaped in order to be respectful and sympathetic to the original structure. The ridge and eaves lines have been lowered in relation to existing to articulate the old & new.

The detailing of the new extension and particularly the water tabling reflects the traditions of the existing building and this has been used to great effect on the rear elevation where the differing projections and stepped gables break down the scale and mass of the extension when viewed from the adjacent fields.

***Appearance –***

The design of the new extension has been informed and shaped by the appearance, context and setting of the existing building.

The external walls will be coursed masonry, sourced to match the original material, with cut stone heads and cills to window and door openings.

The roof will be slate to form a unified appearance with the existing at the point of connection and set within gables that include the water tabling detail found on the existing building. Window and door patterns have been kept simple in order to reflect the surrounding context and not to compete with the principle elevation which addresses the Main Road.

Whilst the works involve a new extension, and this has been treated as secondary to the principle existing building, the appearance of the whole structure on completion has been paramount. Working with the National Parks Planning Authority we feel an appropriate balance has been struck and that this is reflected in the drawings presented for consideration.

***Landscaping –***

External landscaping opportunities are limited to the front of the site around the car parking area and seating terrace adjacent to the main entrance. Resurfacing works to the car park will take place along with the provision of new planters and external seating around the terrace area to soften the appearance of the forecourt within the street scene.

**ACCESS STATEMENT**

The topography of the site precludes 'level' access to the principle accommodation level from the car park; however, any external steps or staircases leading to the main entrance will be designed as semi ambulant stairs with minimal risers of 150mm and generous goings of 280mm along their length.

Internally the principle storey will be fully accessible to all members of the public; the final details of which will be subject to the accessibility standards required to meet current building standards legislation.



NYMNP  
- 4 JUL 2011

become the core business is fine food & drink, quality management and customer service in a beautiful setting with access to other equally beautiful villages like Grosmont, Egton, Lealholm and so on. It is the position of Aislaby that would bring real benefits to the new business; allowing a visitor direct access to Whitby and coast line but also letting them head inland off the beaten track and experience the rich variety on offer, a base from which to explore the National Park.

The applications seeks the support of the National Parks for the enhancement and diversification of the business plan on this site to ensure the longevity of the public house and the role it will play in the surrounding community.

**Layout –**

The layout of the existing building is obviously relatively fixed in relation to the street scene of Main Road, Asilaby.

To the front of the building it is only proposed to provide a simple timber frame smoking shelter to the side of the main entrance.

To the rear, the existing extensions and past alterations to building fabric will be cleared away removing the unsightly dilapidated structures adjacent to the communal courtyard and field boundary.

The new traditionally detailed extension will sit over a similar foot print to the original structures preserving a small rear yard for business operations and bin store.

Internally, the ground floor will retain the public house use. Completely refurbished it will be serviced by a new kitchen facility with improved circulation routes providing clear definition between public and private areas of the building.

In addition the sanitary provision will be greatly enhanced through the provision of male, female and disabled toilet & baby change facilities which will be fully accessible to all members of the public.

During the construction period a new cellar will also be provided beneath the ground floor accommodation as shown on the drawings to improve site storage and security of the business consumables whilst providing a more efficient and economic means of distributing them through the building structure to point of sale.

At first floor level a new manager's apartment will be provided to ensure the business is properly supported on a day to day basis. In addition to this will be three of the lettable ensuite guest rooms to the rear of the building.

Finally the attic floor will provide an essential link from the head of the new staircase into the existing two ensuite rooms within the roof structure of the existing building. In addition, essential laundry and linen store rooms will be created along with a final ensuite bedroom looking out over the rear of the site.

**Amount -**

The new extension builds off a similar footprint to that which already exists and this is reflected in the internal floor area measurements taken from the drawn information (Drawing HM PL-02).

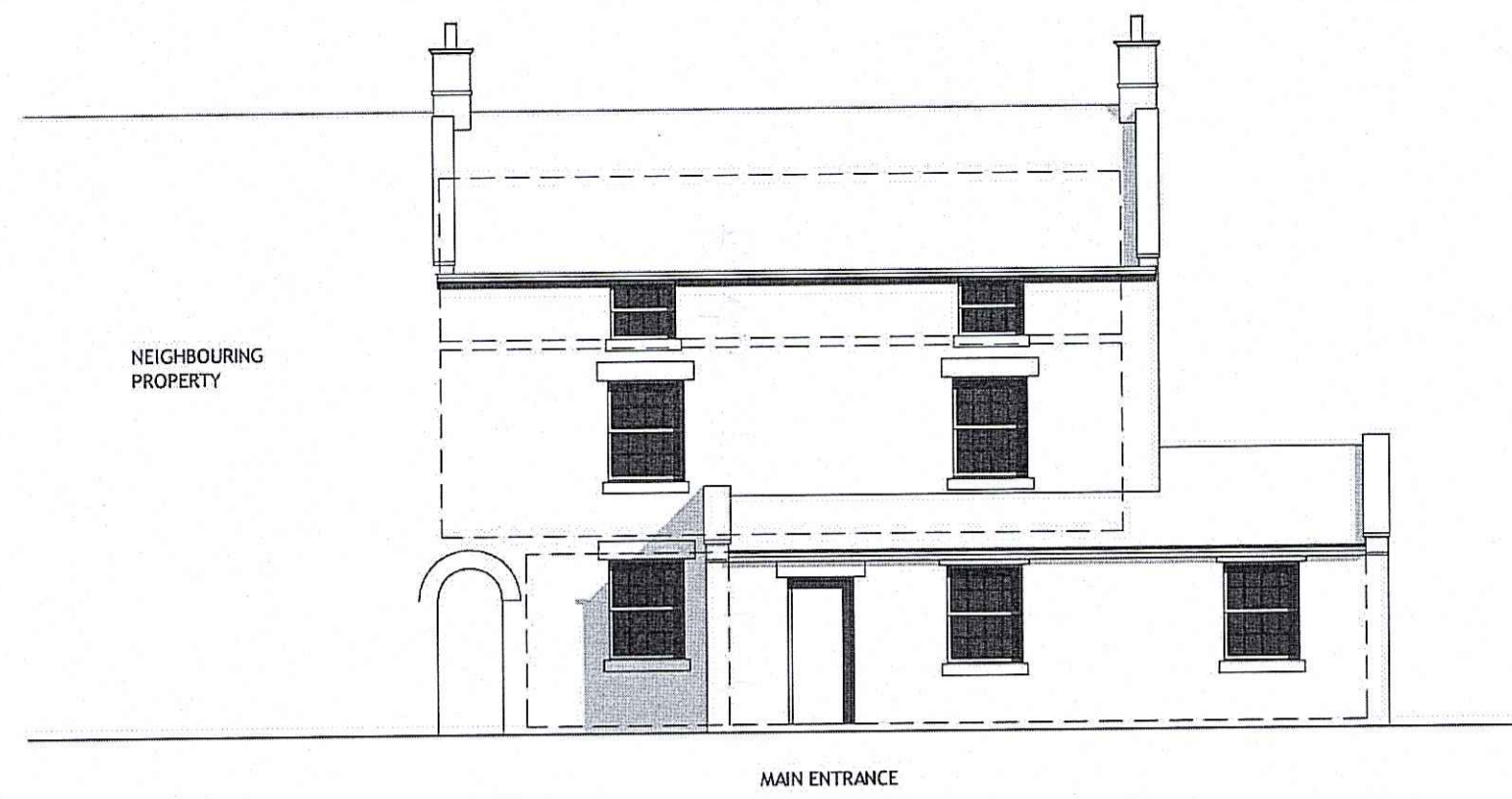
**Existing area of accommodation removed during demolition:**

ground floor:	70.76sqm
first floor:	11.50sqm
<b>TOTAL:</b>	<b>82.26sqm</b>

**AMENDED**

Notes

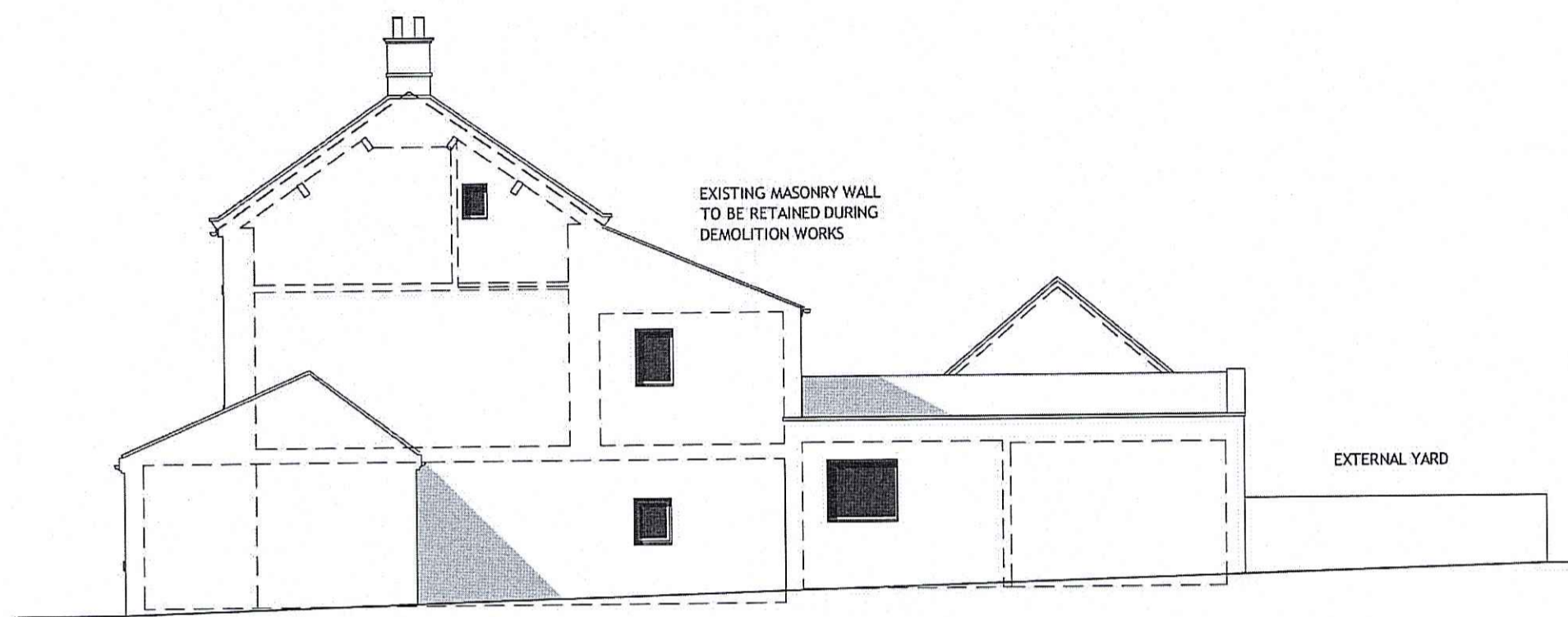




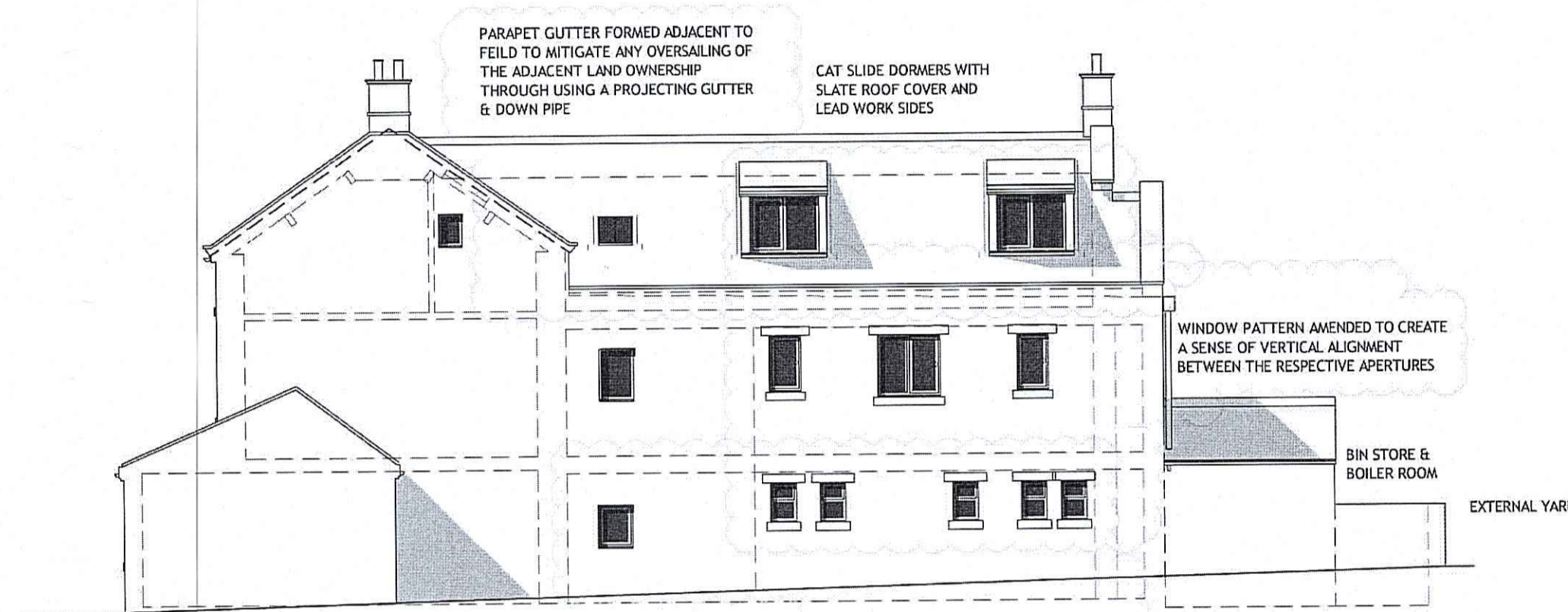
1:100 EXISTING FRONT ELEVATION



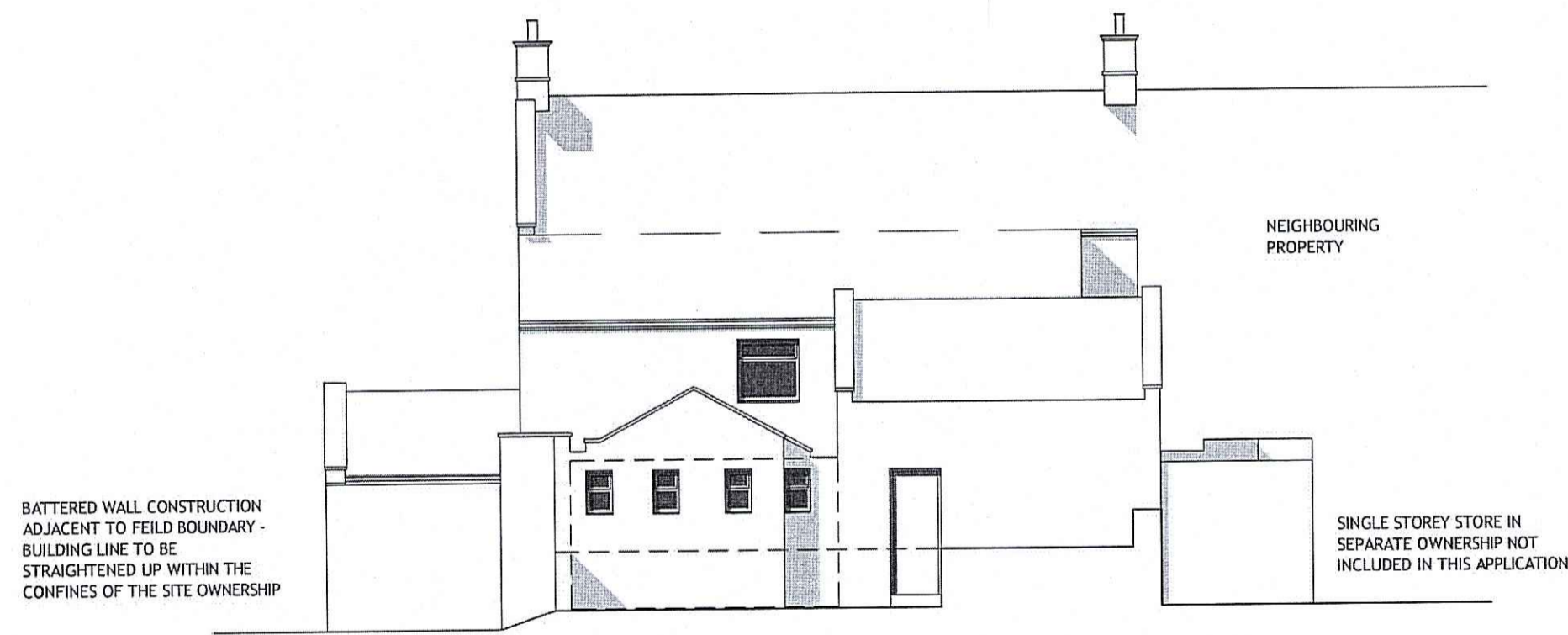
1:100 PROPOSED FRONT ELEVATION



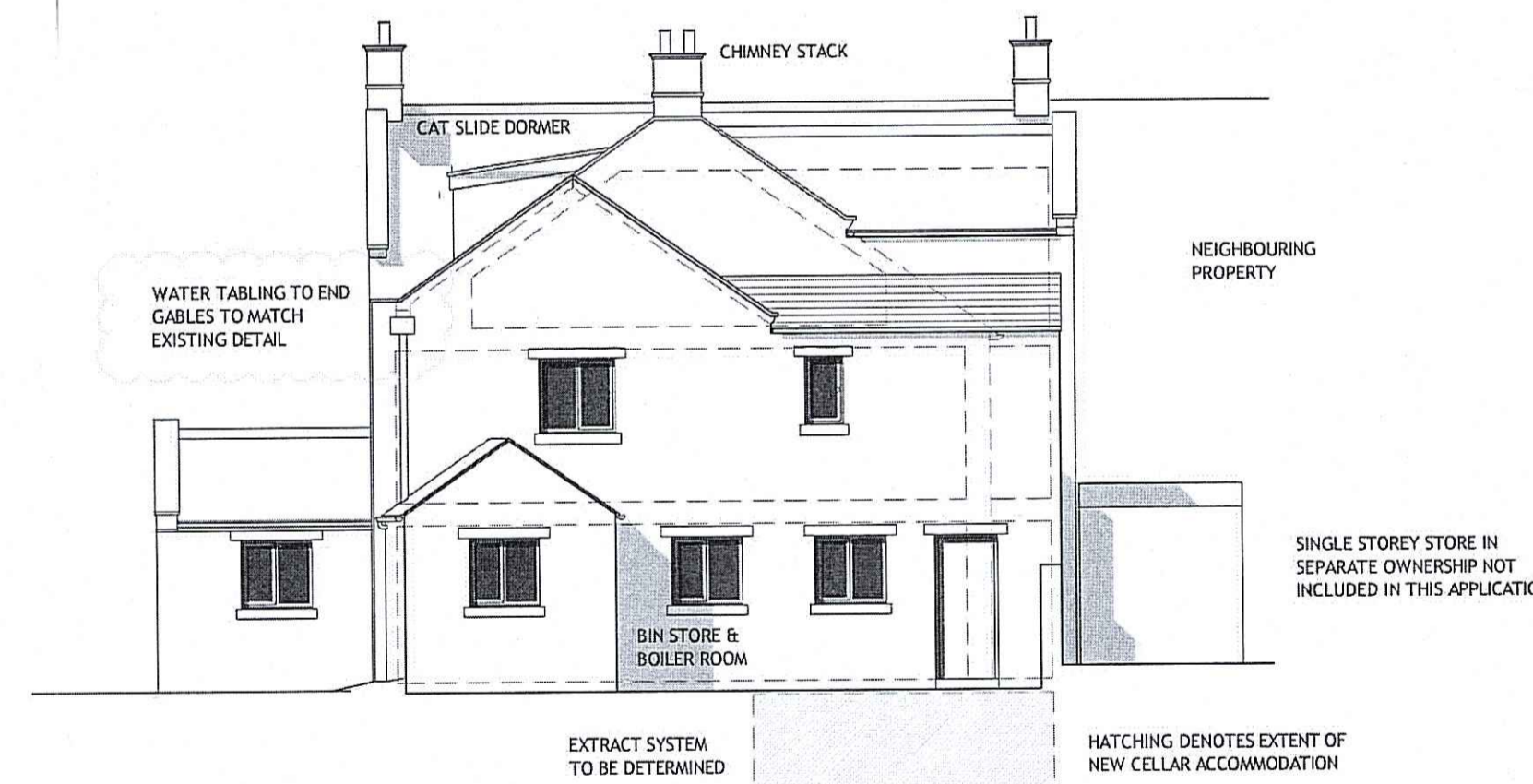
1:100 EXISTING SIDE ELEVATION



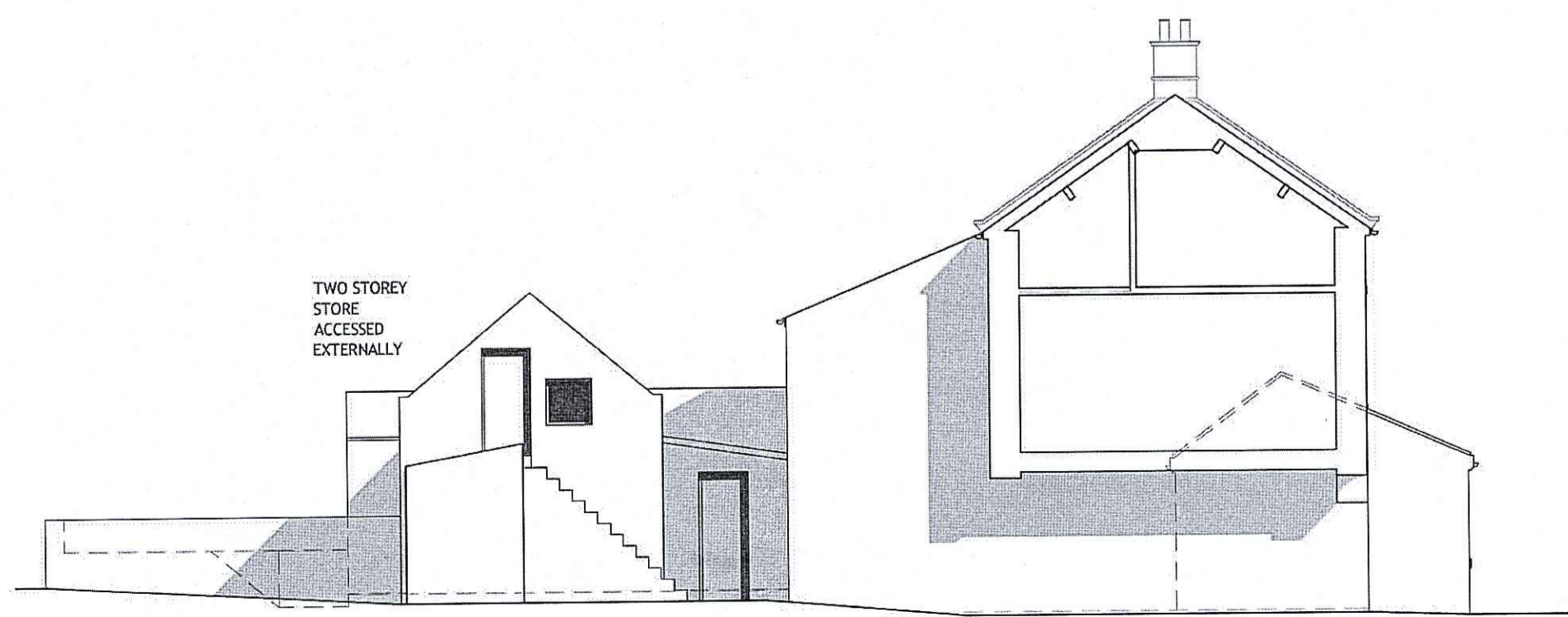
1:100 PROPOSED SIDE ELEVATION



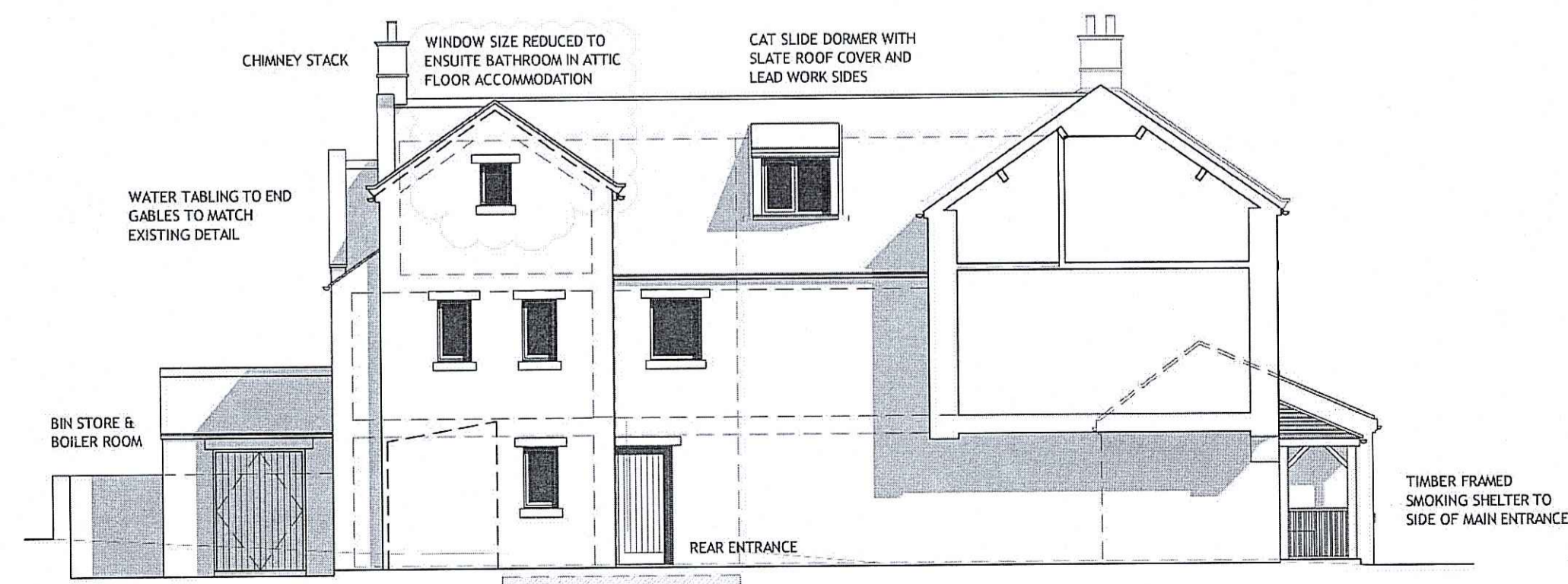
1:100 EXISTING REAR ELEVATION



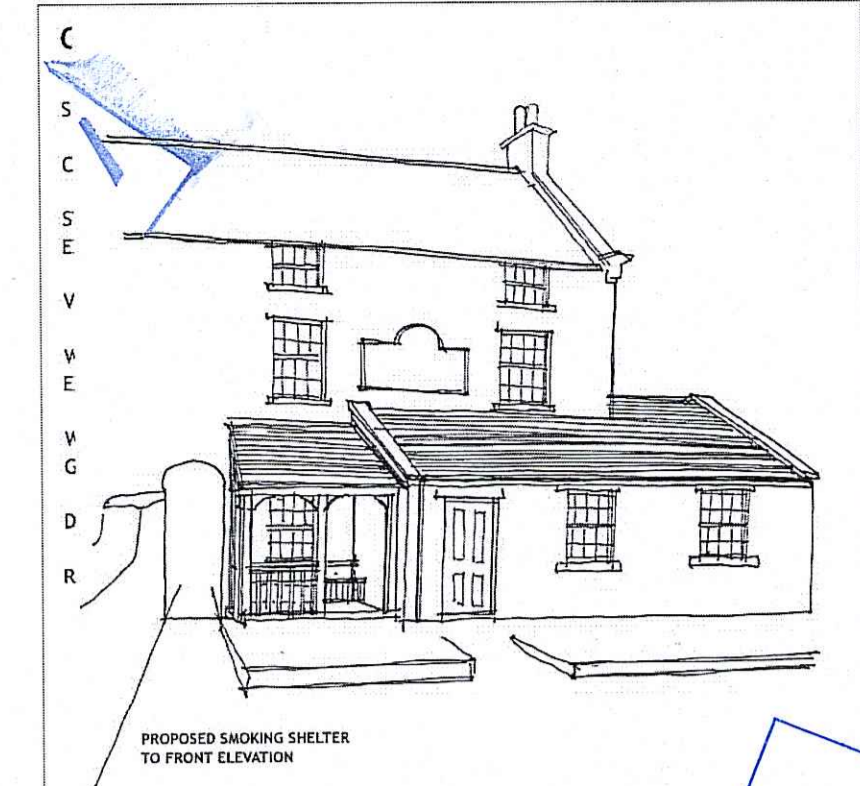
1:100 PROPOSED REAR ELEVATION



1:100 EXISTING COURTYARD ELEVATION



1:100 PROPOSED COURTYARD ELEVATION



AMENDED  
- 4 JUL 2011

REVISION STATUS:  
**REVISION C . 30 JUNE 2011 . JD**  
 Gutter detail to feildside elevation amended to prevent any potential oversailing of the adjacent owners land - plans and roof plan amended accordingly to reflect this detailing.

**REVISION B . 28 JUNE 2011 . JD**  
 Design adjustments made to the submitted proposals following a consultation meeting held with Mark Hill and Hilary Saunders at the North York Moors National Parks Planning Authority on Monday 27 June 2011. The alterations are highlighted and annotated accordingly on the revised drawings.

**REVISION A . 1 MARCH 2011 . JD**  
 Design adjustments made to original proposals following pre-application meeting held with Mark Hill at the North York Moors National Parks Planning Authority on Wednesday 23 February 2011.

# JOURNEYMAN DESIGN

PROJECT THE HUNTSMAN AISLABY

CLIENT D. R. WILSON

TITLE EXISTING & PROPOSED ELEVATIONS

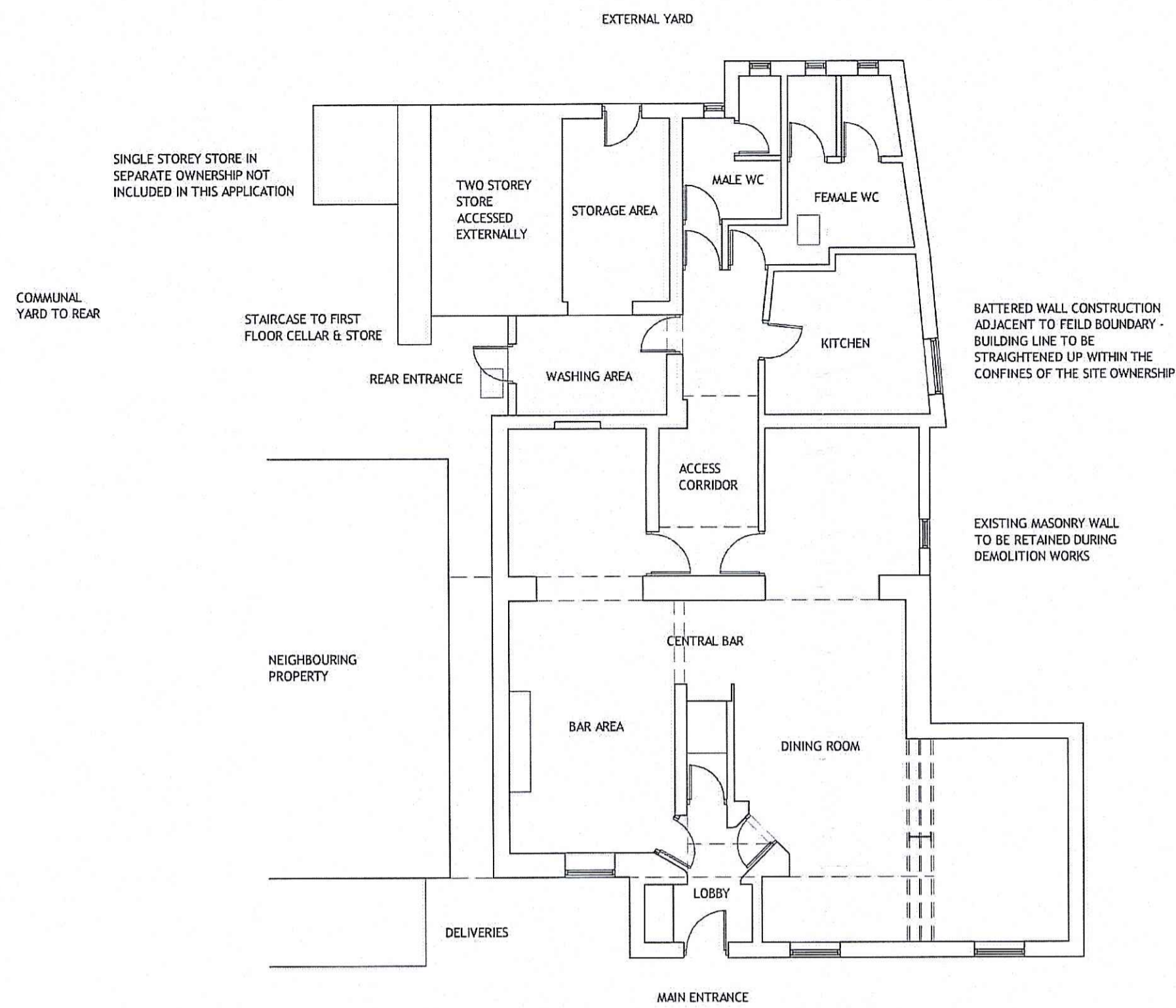
STATUS	DATE	SCALE	REV
PLANNING	06.02.2011	1:100 @ A1	C

DRAWING NO. HM PL-03

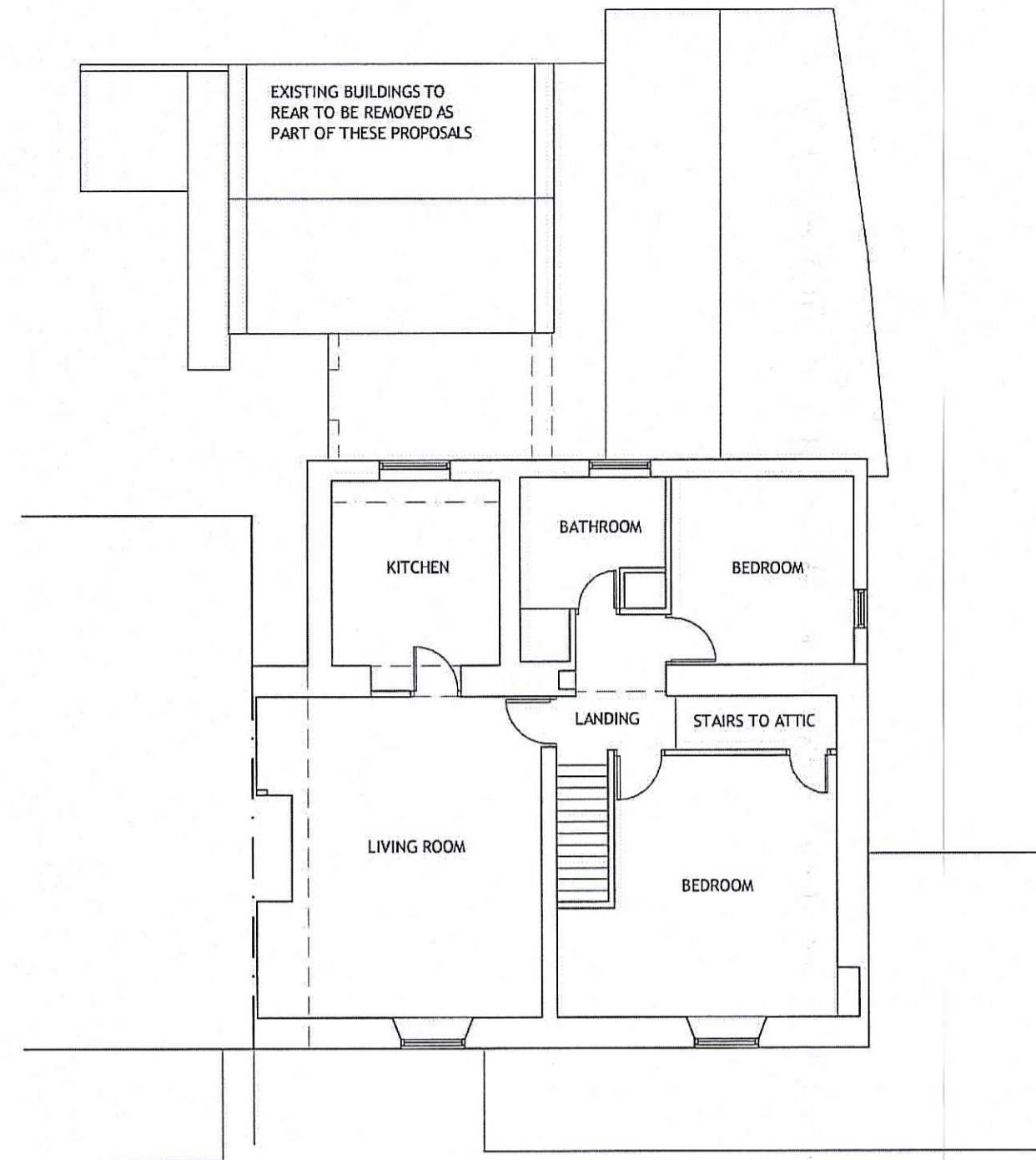
THIS DRAWING IS FOR PLANNING PURPOSES ONLY AND NO OTHER USE.  
 ALL DIMENSIONS SHOWN ARE PROVISIONAL AND ARE SUBJECT TO ON SITE CONFIRMATION AT THE START OF THE CONSTRUCTION STAGE - ANY DISCREPANCIES ARE TO BE REPORTED TO THE EMPLOYER IMMEDIATELY. DO NOT SCALE FROM THIS DRAWING.

**AMENDED**  
 UNITY CENTRE . 85 BOLE HILL ROAD  
 SHEFFIELD . S6 5DD  
 T: 0114 2854433  
 M: 07983 518082  
 JOURNEYMANDESIGN.CO.UK

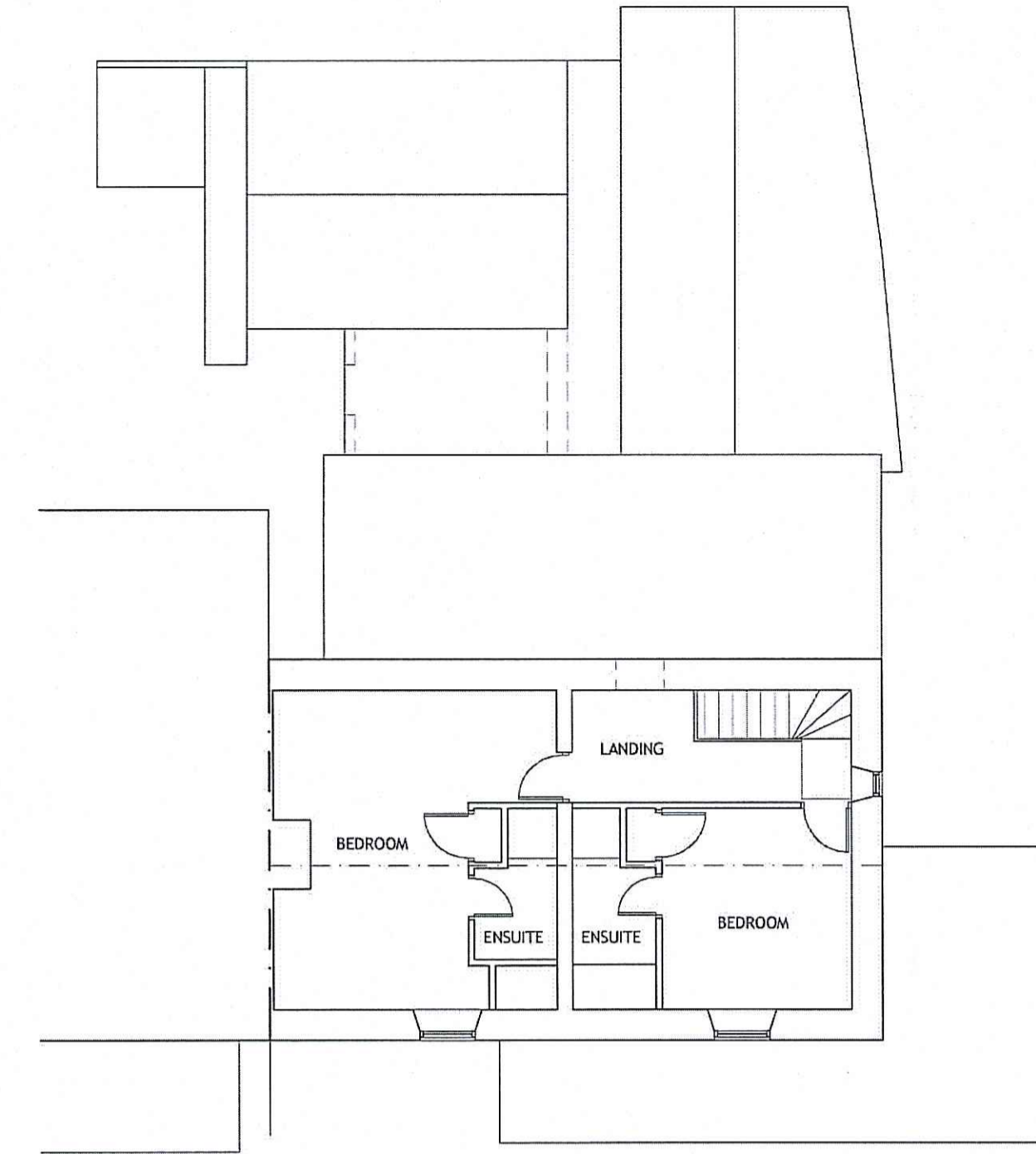




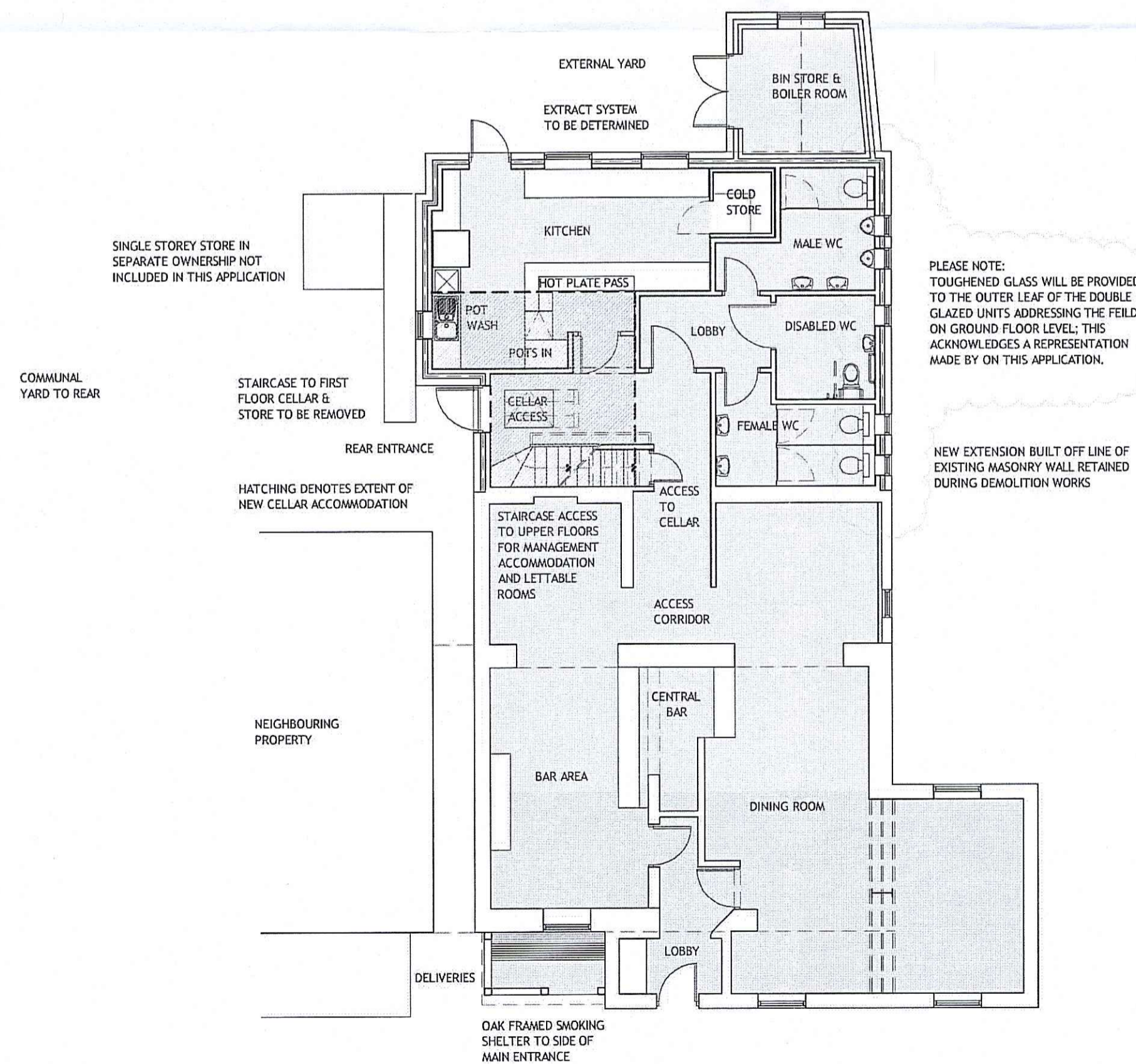
1:100 EXISTING GROUND FLOOR PLAN



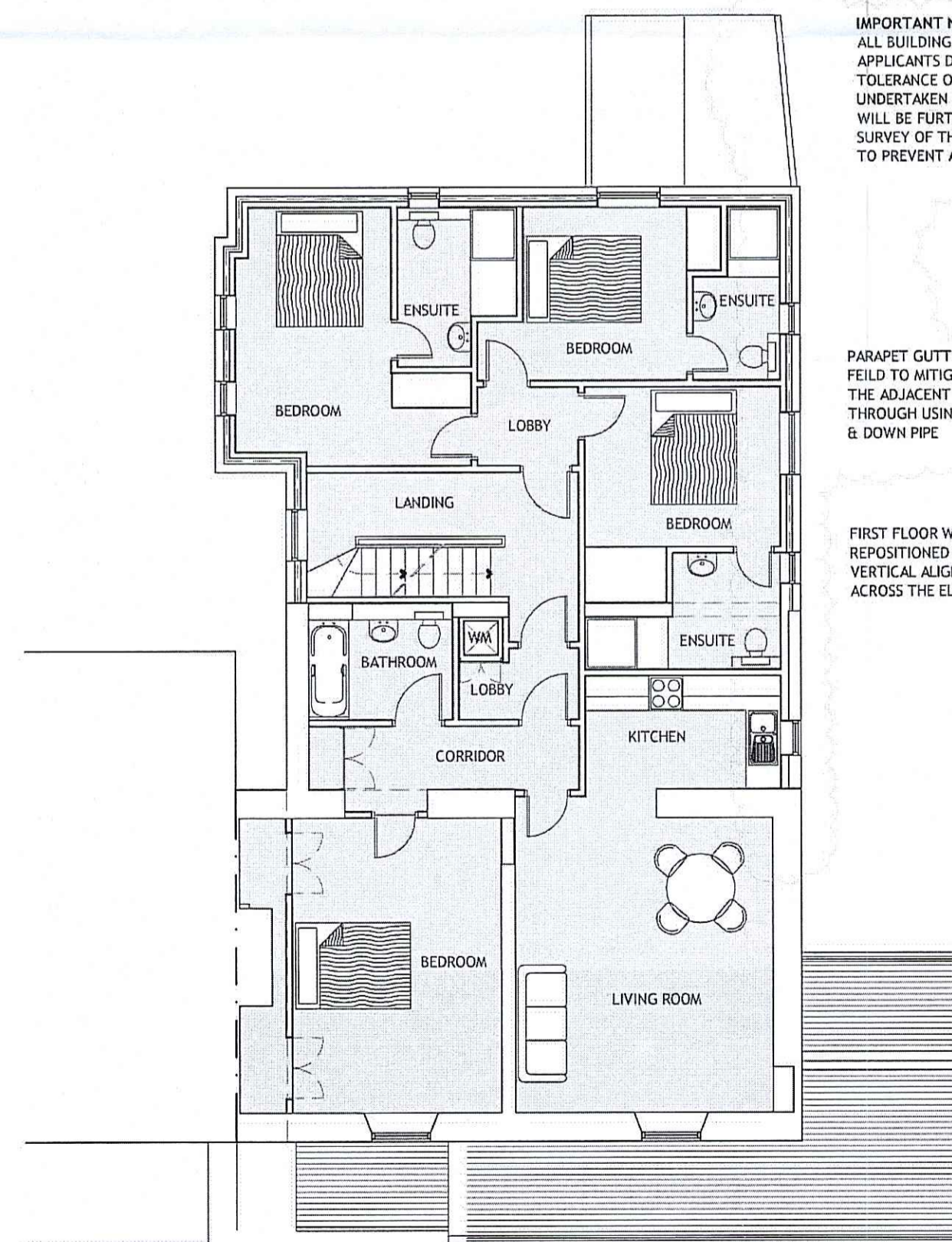
1:100 EXISTING FIRST FLOOR PLAN



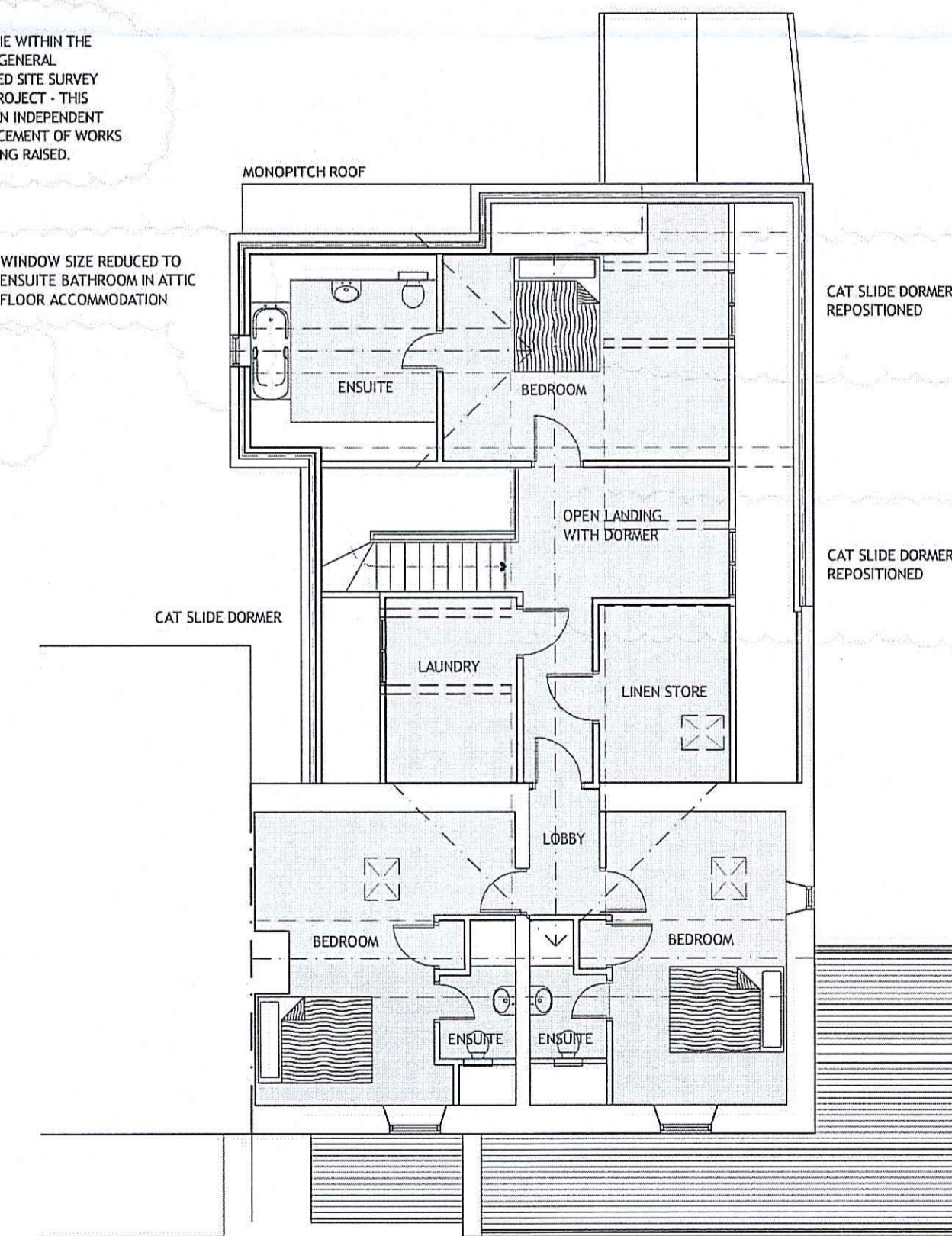
1:100 EXISTING ATTIC FLOOR PLAN



1:100 PROPOSED GROUND FLOOR PLAN



1:100 PROPOSED FIRST FLOOR PLAN



1:100 PROPOSED ATTIC FLOOR PLAN

**IMPORTANT NOTE:**  
ALL BUILDING LINES AND GUTTERS NOW LIE WITHIN THE APPLICANT'S DEFINED LAND TITLE WITH A GENERAL TOLERANCE OF 25MM BASED ON A DETAILED SITE SURVEY UNDERTAKEN AT THE BEGINNING OF THE PROJECT - THIS WILL BE FURTHER SUPPLEMENTED WITH AN INDEPENDENT SURVEY OF THE TITLE PRIOR TO COMMENCEMENT OF WORKS TO PREVENT ANY FUTURE CHALLENGE BEING RAISED.

PARAPET GUTTER FORMED ADJACENT TO FIELD TO MITIGATE ANY OVERSAILING OF THE ADJACENT LAND OWNERSHIP THROUGH USING A PROJECTING GUTTER & DOWN PIPE

FIRST FLOOR WINDOWS REPOSITIONED TO FORM VERTICAL ALIGNMENT ACROSS THE ELEVATION

WINDOW SIZE REDUCED TO ENSUITE BATHROOM IN ATTIC FLOOR ACCOMMODATION

EXISTING AREA OF ACCOMMODATION REMOVED DURING DEMOLITION:

GROUND FLOOR: 70.76SQM  
FIRST FLOOR: 11.50SQM  
TOTAL: 82.26SQM

**NYMNP**  
-4 JUL 2011

PROPOSED AREA OF ACCOMMODATION-CREATED THROUGH REINSTATEMENT AND EXTENSION OF THE EXISTING BUILDING:

CELLAR: 15.11SQM  
PLEASE NOTE THAT THE CREATION OF THIS ACCOMMODATION IS SUBJECT TO THE GROUND CONDITIONS FOUND ON SITE FOLLOWING COMMENCEMENT OF EXCAVATIONS; IF ROCK IS FOUND AT A SHALLOW DEPTH THE ACCOMMODATION WILL BE FOREGONE.  
GROUND FLOOR: 69.52SQM  
FIRST FLOOR: 54.33SQM  
ATTIC FLOOR: 60.84SQM  
GROSS TOTAL (INCLUDING CELLAR): 199.80SQM  
GROSS TOTAL (EXCLUDING CELLAR): 184.69SQM

**CORE POLICY D STATEMENT:**  
THE EXTENSION PROPOSALS SHOWN WITHIN THIS APPLICATION EQUATE TO A GROSS NEW FLOOR AREA OF 199.80SQM WHICH FALLS WITHIN THE POLICY THRESHOLD. THIS GROSS AREA COULD BE REDUCED FURTHER IF THE GROUND CONDITIONS FOUND ON SITE PRECLUDE THE CONSTRUCTION OF THE BASEMENT ACCOMMODATION.

DESPITE THIS, IT IS IMPORTANT TO NOTE THE APPLICANTS INTENTION TO CREATE A BUILDING THAT IS AS ENERGY EFFICIENT AS POSSIBLE IN ORDER TO MITIGATE UNNECESSARY EXPENDITURE OF FUTURE FUEL COSTS WHICH IF EXCESSIVE WOULD IMPACT ON THE BUSINESS OPERATIONS.

THROUGH THE CLEARANCE OF THE EXISTING REAR ACCOMMODATION WHICH IS NOT INSULATED AT ALL, THE NEW STRUCTURE WILL BE FULLY COMPLIANT WITH THE GUIDELINES CONTAINED WITHIN THE CURRENT APPROVED DOCUMENTS, PARTICULARLY PART L.

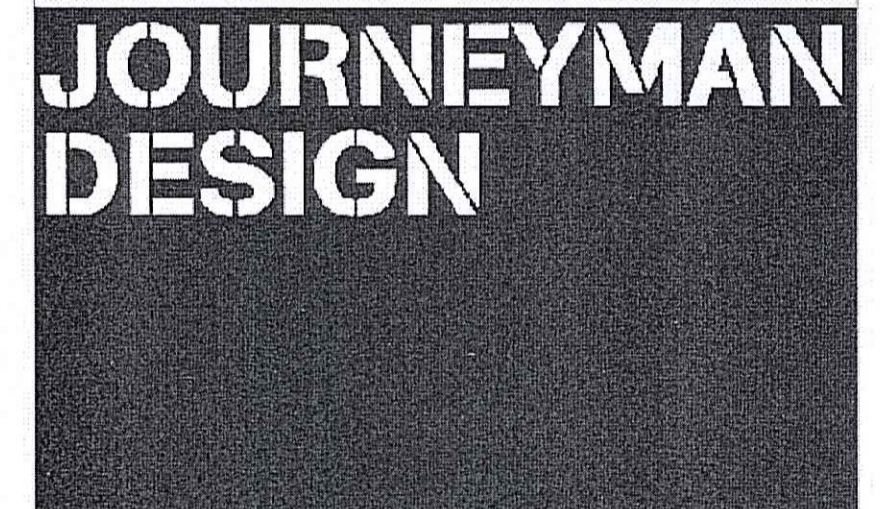
IN ADDITION, THE EXISTING STRUCTURE WILL ALSO BE FULLY INSULATED IN ITS ROOF, WALLS AND FLOOR SLAB. THIS MEASURE, COMBINED WITH A NEW HEAT & POWER INSTALLATION THROUGHOUT THE BUILDING WILL DELIVER A COMPREHENSIVE IMPROVEMENT IN THE THERMAL PERFORMANCE OF THE COMPLETED BUILDING WHEN COMPARED AGAINST ITS CURRENT CONDITION AND INFRA STRUCTURE.

REVISION STATUS:

REVISION D . 30 JUNE 2011 . JD  
Gutter detail to feildside elevation amended to prevent any potential oversailing of the adjacent owners land - plans and roof plan amended accordingly to reflect this detailing.

REVISION C . 28 JUNE 2011 . JD  
Design adjustments made to the submitted proposals following a consultation meeting held with Mark Hill and Hillary Saunders at the North York Moors National Parks Planning Authority on Monday 27 June 2011. The alterations are highlighted and annotated accordingly on the revised drawings.

REVISION B . 21 MAY 2011 . JD  
Extent of demolition works to the rear of the site clarified with resulting gross floor areas recalculated.



PROJECT THE HUNTSMAN AISLABY

CLIENT D. R. WILSON

TITLE EXISTING & PROPOSED FLOOR PLANS

STATUS	DATE	SCALE	REV
PLANNING	05.02.2011	1:100 @ A1	D

DRAWING NO. HM PL-02

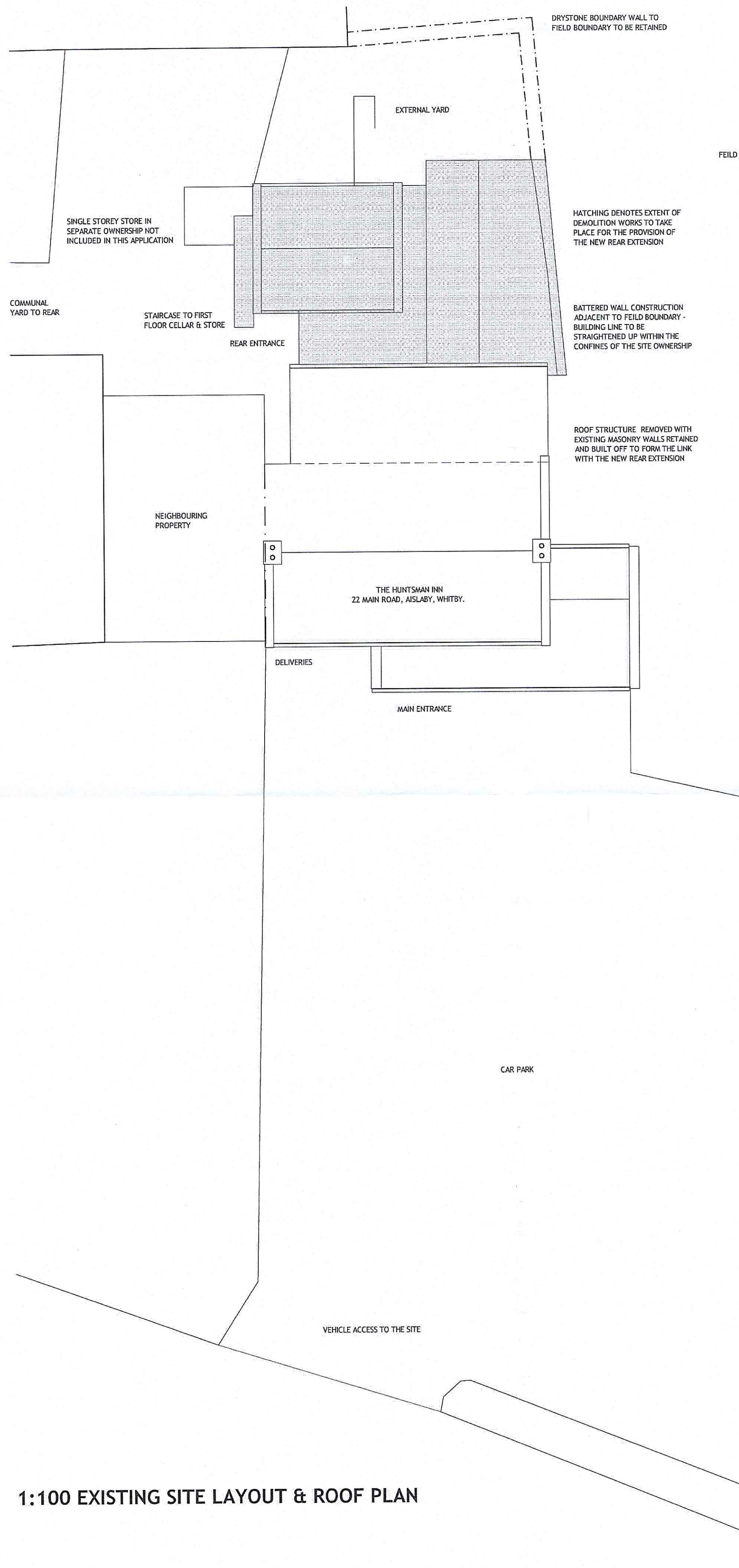
THIS DRAWING IS FOR PLANNING PURPOSES ONLY AND NO OTHER USE.

ALL DIMENSIONS SHOWN ARE PROVISIONAL AND ARE SUBJECT TO ON SITE CONFIRMATION AT THE START OF THE CONSTRUCTION STAGE - ANY DISCREPANCIES ARE TO BE REPORTED TO THE EMPLOYER IMMEDIATELY. DO NOT SCALE FROM THIS DRAWING.

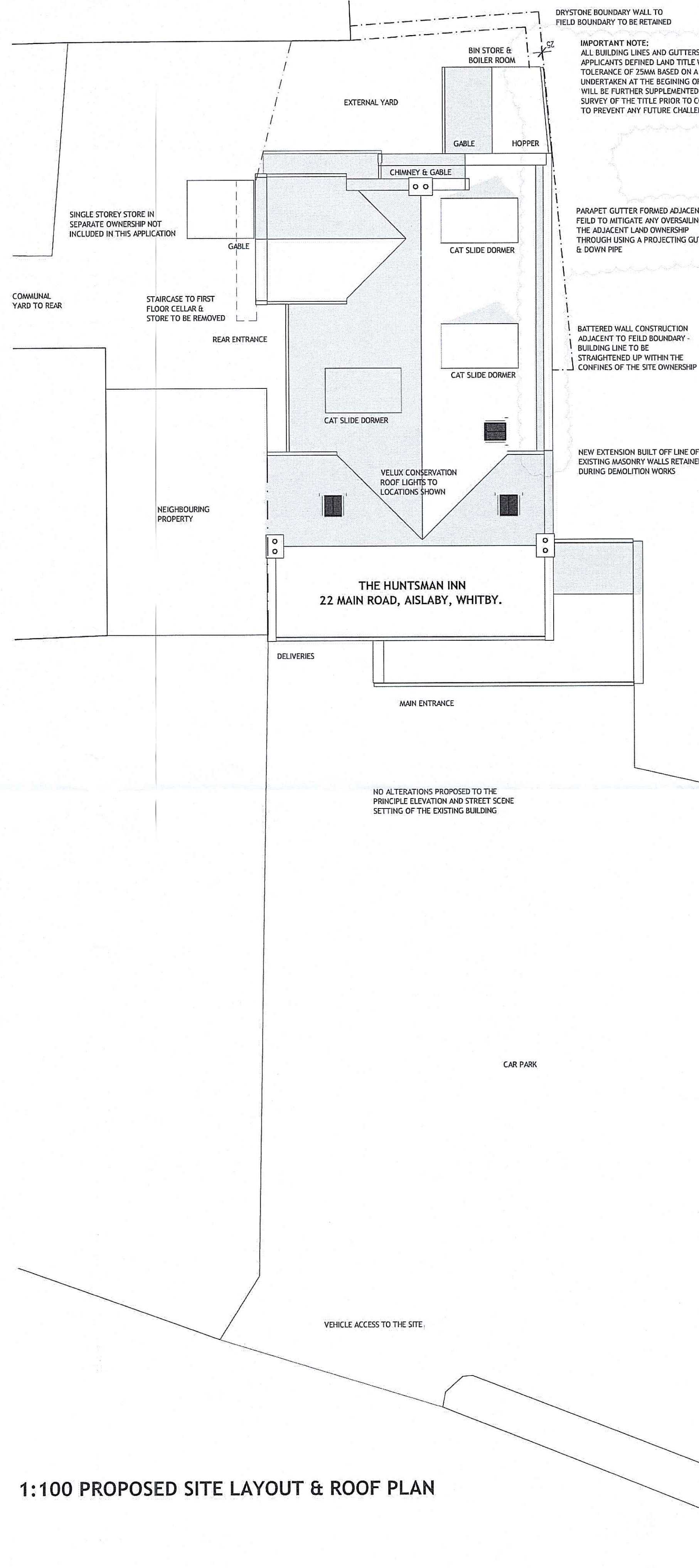
Notes

UNITY CENTRE, 85 BOLE HILL ROAD SHEFFIELD, S6 5DD  
T: 0114 2854433  
M: 07983 518062  
JOURNEYMANDESIGN.CO.UK





1:100 EXISTING SITE LAYOUT & ROOF PLAN

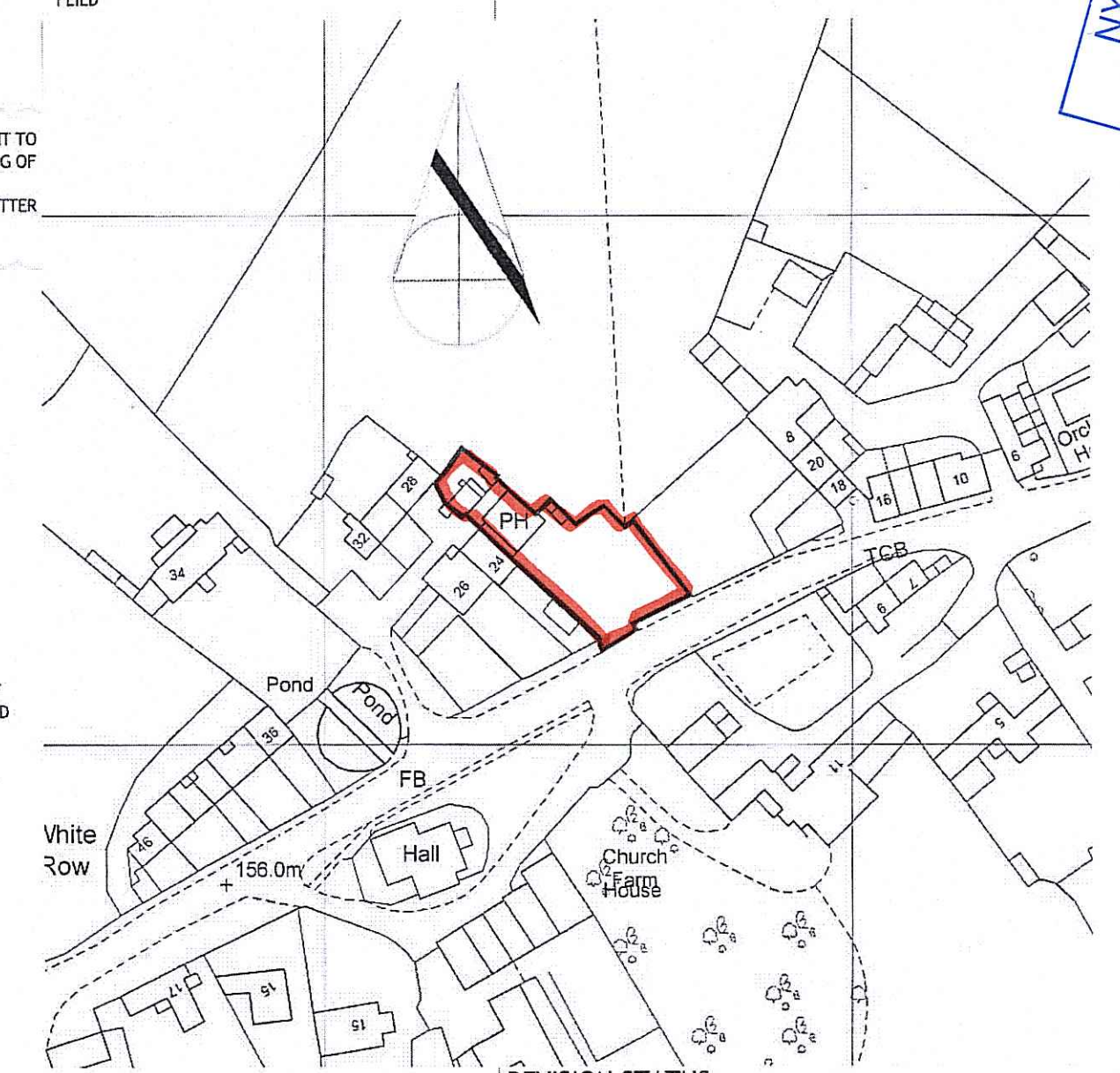


1:100 PROPOSED SITE LAYOUT & ROOF PLAN

IMPORTANT NOTE:  
ALL BUILDING LINES AND GUTTERS NOW LIE WITHIN THE APPLICANTS DEFINED LAND TITLE WITH A GENERAL TOLERANCE OF 25MM BASED ON A DETAILED SITE SURVEY UNDERTAKEN AT THE BEGINNING OF THE PROJECT - THIS WILL BE FURTHER SUPPLEMENTED WITH AN INDEPENDENT SURVEY OF THE TITLE PRIOR TO COMMENCEMENT OF WORKS TO PREVENT ANY FUTURE CHALLENGE BEING RAISED.

**ROOF MATERIALS:**  
SLATE ROOF COVER TO MATCH THE EXISTING BUILDING.  
CAT SLIDE DORMERS WITH LEAD WORK SIDES.  
STONE WATER TABLING DETAIL TO GABLE ELEVATIONS TO MATCH DETAIL OF EXISTING BUILDING.  
VELUX CONSERVATION ROOF LIGHTS TO LOCATIONS SHOWN.

NYMNP  
-4 JUL 2011



1:1250 SITE LOCATION

**REVISION STATUS:**  
**REVISION D . 30 JUNE 2011 . JD**  
Gutter detail to feildside elevation amended to prevent any potential oversailing of the adjacent owners land - plans and roof plan amended accordingly to reflect this detailing.  
**REVISION C . 21 MAY 2011 . JD**  
Extent of demolition works to the rear of the site clarified.  
**REVISION B . 13 MAY 2011 . JD**  
Additional north Arrow added to Site Location Plan.  
**REVISION A . 1 MARCH 2011 . JD**  
Design adjustments made to original proposals following pre-application meeting held with Mark Hill at the North York Moors National Parks Planning Authority on Wednesday 23 February 2011.

# JOURNEYMAN DESIGN

PROJECT	THE HUNTSMAN AISLABY		
CLIENT	D. R. WILSON		
TITLE	EXISTING AND PROPOSED SITE LAYOUT & ROOF PLAN		
STATUS	DATE	SCALE	REV
PLANNING	05.02.2011	1:100 @ A1	D
DRAWING NO.	HM PL-01		

THIS DRAWING IS FOR PLANNING PURPOSES ONLY AND NO OTHER USE.  
ALL DIMENSIONS SHOWN ARE PROVISIONAL AND ARE SUBJECT TO ON SITE CONFIRMATION AT THE START OF THE CONSTRUCTION STAGE - ANY DISCREPANCIES ARE TO BE REPORTED TO THE EMPLOYER IMMEDIATELY. DO NOT SCALE FROM THIS DRAWING.

**AMENDED**  
Notes  
UNITY CENTRE . 65 BOLE HILL ROAD SHEFFIELD . S6 5DD  
T: 0114 2854433  
M: 07983 518082  
JOURNEYMANDSIGN.CO.UK