

The Site:

The Grosmont Gallery (now called the Geall Gallery) is a five storey building built on a bank between Front Street and Waterloo place. The lowest two floors are an existing Holiday flat which is accessed from Waterloo place. The Middle floor is an art gallery with a separate access to the top two floors which are currently residential accommodation, these are accessed from Front Street.

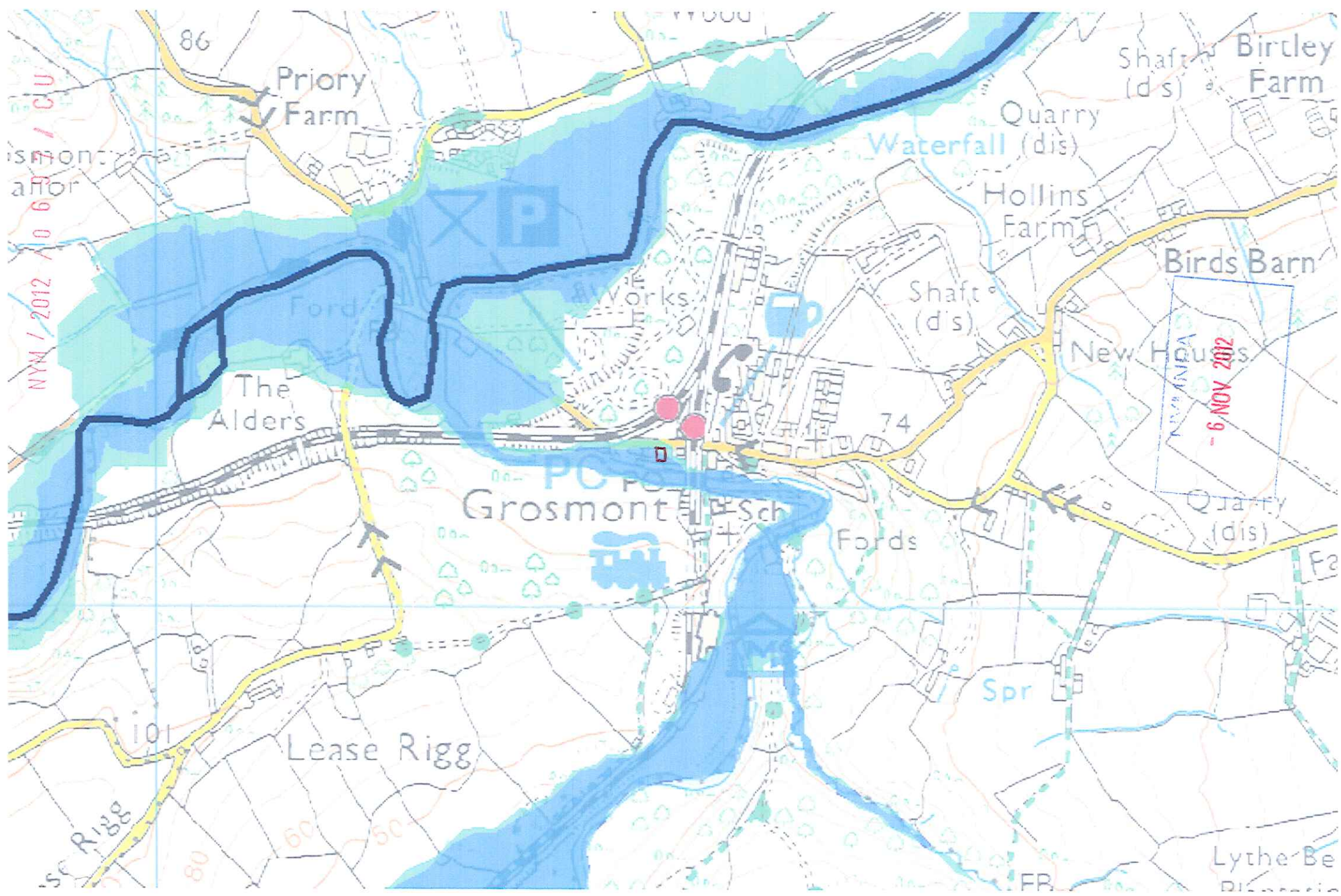
The proposed change of use is for the top two floors which will be accessed from Front Street which is two stories above Waterloo place which is where the flood map shows to be at risk.

Waterloo place is 10 feet above the normal level of the river so in fact the access to the proposed change of use will be some 30 feet above the river level.

No external building work will be undertaken so there will be no impact on rainfall runoff etc.

I found the on line application forms some what confusing since they didn't seem to relate to a simple change of use, so I am hoping that this note will suffice.

NYMNPA
- 6 NOV 2012



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Parking

The proposed change of use is to provide Bed and Breakfast accommodation for coast to coast walkers who pass through Grosmont on their way to Robin Hood's Bay. This will be the bulk of our business since there is currently a large shortfall in accommodation available. These customers will arrive on foot and therefore will not require parking.

We do not have any available land to provide parking.

Should customers need parking they would have use the NYNP pay and display car park at Grosmont.

NYMNPA
- 6 NOV 2012

Proposed conversion of the upper flat at the Geall Gallery to a bed and breakfast establishment.

Grosmont is the last stop on the Coast to Coast walk which has become very popular in recent years. We have identified a need for another Bed and Breakfast establishment in Grosmont. Currently there is only one other business locally that the Coast to Coast companies regard as suitable, large groups cannot be put up in Grosmont and walkers end up being shuffled around, mainly to Egton Bridge.

We are proposing to provide three letting twin bedrooms in the upper flat at the Geall Gallery, by adding three en-suite bathrooms and moving the kitchen into the living room area. No external alterations are necessary apart from outlets on the roof for ventilation.

Emergency lighting will be fitted to provide a clear and easy exit from the building. Smoke detectors will be added to the existing system that covers the gallery area as well so that in the event of a fire anywhere in the building residents will have plenty of warning to evacuate the building.

The Gallery area below the flat meets with the current fire regulations with double thickness plaster board and intumescent paint on all exposed wood work.

All doors will be fire doors with self-closing devices.

The flat will retain three bedrooms for domestic use.

NYMNP
12 OCT 2012