

NYM / 2013 / 0574 / FL

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DESIGN AND ACCESS STATEMENT and HERITAGE STATEMENT

REV B - August 2013

PROJECT
LOCATION
APPLICANT

Proposed conversion of agricultural outbuildings
Manor House Farm, Newholm, Whitby
Richardson

NYMNPA
- 9 AUG 2013



DESIGN AND ACCESS STATEMENT

Preface

The proposals attached to this Design and Access statement have been formulated as a result of the applicants design brief, site survey, review of the National Planning Policy Framework, review of the North York Moors National Park's design guides together with pre-application discussions with officers from the North York Moors National Park.

The project is for the conversion of two outbuildings into one dwelling for residential and holiday let use. This change of use will require minor amendments to the external fabric of the buildings and the appropriate amount of internal alterations.

This statement is to be read in conjunction with the structural report that was undertaken on the property, which shows that the property can be converted without full re-construction. Please refer to Bell Snoxell Building Consultant's Structural Report ref LS/8129.

Building history

The two outbuilding subject of this application form part of the farmstead of Manor House farm in Newholm. Newholm is a small village located two miles from the town of Whitby in North Yorkshire.

The farmstead comprises of a main farmhouse fronting the main road through Newholm, and adjoining L-shape configuration of outbuildings, one of which has already been converted to residential use. There are also a number of additional redundant outbuildings to the rear.

The farm is believed to have been constructed around 1850, and the outbuildings subject of this conversion were built at a later date during early 1900s. The farm has been owned by the Richardson family since 1947. Up until 1980s the farm had been rented: since then the land is rented separately and the farm buildings are no longer part of a functioning farm. The main farm house and next door building is currently privately rented to local families.

Use and Scale

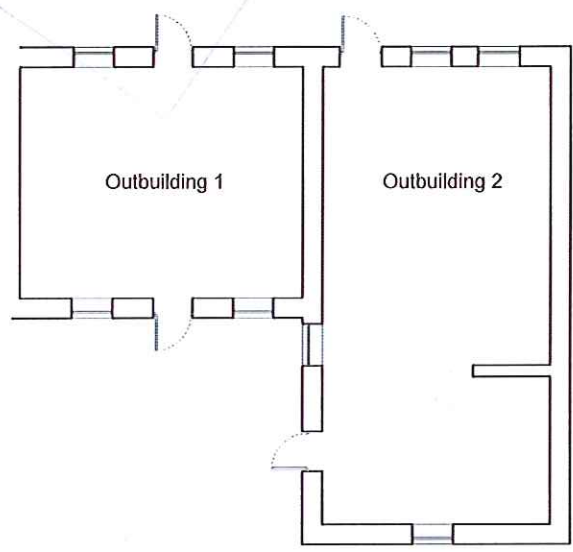
The outbuildings proposed for this conversion form part of the length of buildings attached to the farm house fronting the main road through Newholm. These existing buildings comprise of the small building **Outbuilding 1** and the larger building **Outbuilding 2**. This application seeks the following consent:

- Conversion of Outbuilding 1 and 2 into a 3 bedroom dwelling for local occupancy residential and holiday let use.
- adjacent land to be included within the domestic curtilage of the proposed dwelling.

The proposed dwelling is requested to be granted planning permission to be a separate entity from the main farm house, and therefore requires the sub dividing of the curtilage of the farmstead.

NYM / 2013 / 0574 / FL 1

NYM / 2013 / 0574 / FL 1



Plan of existing building, not to scale

NYMNPA
- 9 AUG 2013



Road side elevation: Windows boarded up



Road side elevation: Unsightly stone infill to former door.



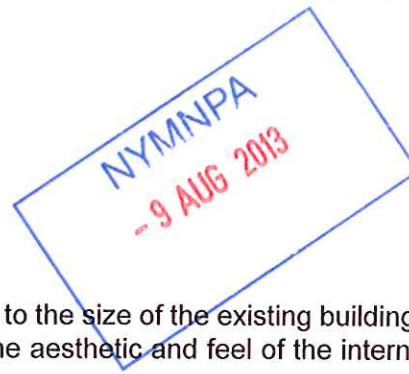
Rear elevation: Damaged and boarded up windows



Roof structure to be retained and be visible within the conversion

Location of former glazed ventilation ridge structure.

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The scale of this conversion is felt to appropriate to the size of the existing buildings and the aim is to create a spacious conversion so that the aesthetic and feel of the internal spaces is retained.

Design and Appearance

The conversion layout has been designed so that Outbuilding 1 contains 2 of the 3 bedrooms, allowing outbuilding 2 to have a large open plan living and kitchen area. This requires a new internal opening to be made through the wall between Outbuilding 1 and 2. The 3rd bedroom is within a mezzanine type floor located centrally within Outbuilding 2. Either side of the mezzanine is a double height space that will expose the existing hipped roof structure and retain the barn's double height aesthetic.

The main walls of the existing building are in a good condition and therefore the building can be converted without major repair to the walls. However the windows and doors of the barns are in disrepair and therefore the proposal seeks to replace all these openings with high quality timber units, resulting in an improved elevation facing the main road through Newholm. The replacement windows will be replaced with like for like styles of window. Clumsy stone infills where once a door was situated will either be covered by a stable door or removed and changed to long windows set back within the reveals. The barns have a number of existing openings that can be utilised in order to give well lit habitable rooms inside: the only additional opening within the walls is one to the rear of the dwelling to provide access to the rear garden. This new door will be of a simple style and set back within the reveal so that it appears like an opening/void within the wall. This new opening requires the blocking of a window opening above with reclaimed stone to match. The use of this window as a fanlight above a new single door below was reviewed however it was felt that the resulting design would look incongruous with the rest of the barn's exterior. Conservation rooflights will provide light to the mezzanine floor.

An external existing outbuilding at the rear will provide storage for the dwelling therefore negating any need for domestic type external storage.

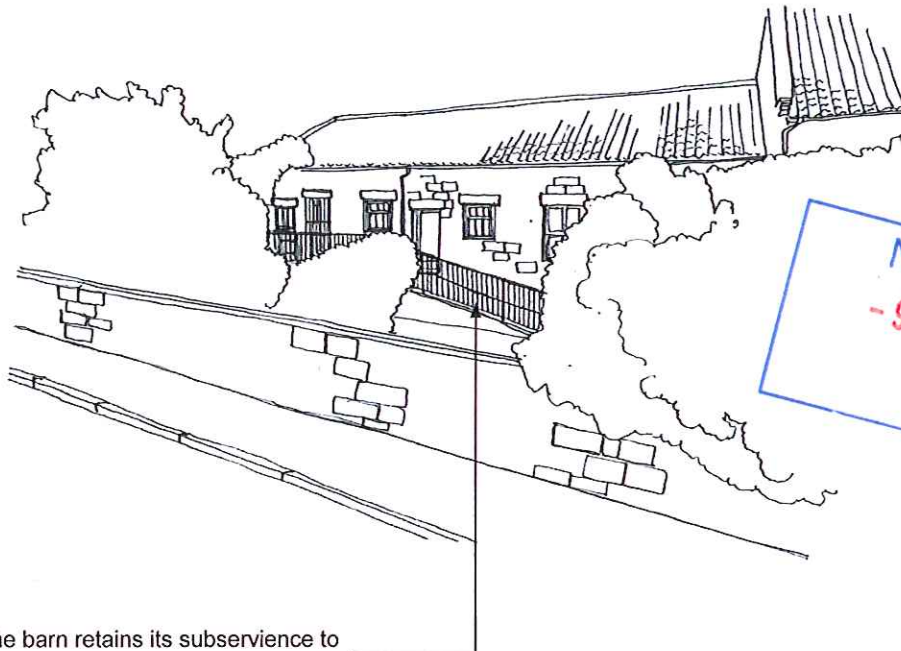
The layout of the land to the rear of the outbuildings and farmhouse lends itself to a simple sub division of the land to give the new dwelling a piece of land to the rear that can be brought into its domestic curtilage.

Access

External pedestrian access to the dwelling will be via the rear of the site as well as by an existing concrete ramp at the front of the dwelling. The pedestrian door entrance to the front will be a stable door very similar to the existing door it will replace, therefore minimising how active the front facade appears and subsequently retaining its subservient relationship to the main farm house. Vehicular access and parking is readily available to the rear of the site, accessed by an existing track with an existing drop down curb.



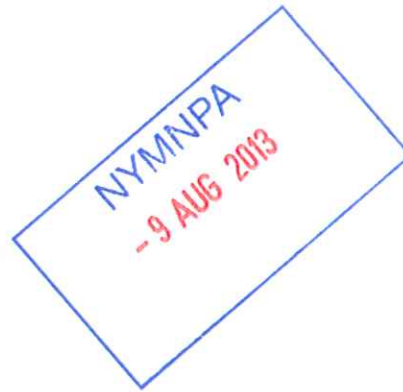
Painting of Manor House farm showing the part glazed ventilation stack structures on the ridge of the outbuildings.



NYMNPA
- 9 AUG 2013

The barn retains its subservience to the main farm house. A protective barrier is required along the existing concrete ramp

NYM / 2013 / 0574 / FL



HERITAGE STATEMENT

Listing text

The outbuildings subject of this application for conversion to residential dwellings are within the curtilage of the principal Grade II listed farmhouse building of Manor House Farm. These outbuildings make an important contribution to the overall farmstead and are currently derelict and falling in to disrepair. Therefore this application seeks to bring these outbuildings back into use again and will consequently receive the much needed renovation and conversion works.

The English Heritage listing for the site is as follows:

List entry Number: 1148879

Grade: II

Details: House, late C18. Ashlar. Roof renewed in curly clay tiles, stone copings and curved kneelers. End brick chimneys. 2 storeys, 3 windows, late C19 sashes with projecting cills. Central C20 boarded door under stone pedimented-hood on brackets. 1-storey right extension.

Intended work

The overall intention is to convert the two outbuildings into one dwelling that meets current Building Regulation requirements. The majority of the work will be to make internal adaptations so that the buildings are habitable, for example fully insulating the walls, roofs and floors. Repair and strengthening works will be carried out to the roofs. The internal design for partitioning the interiors into habitable rooms incorporates some open plan areas so that the atmosphere of the barn is retained.

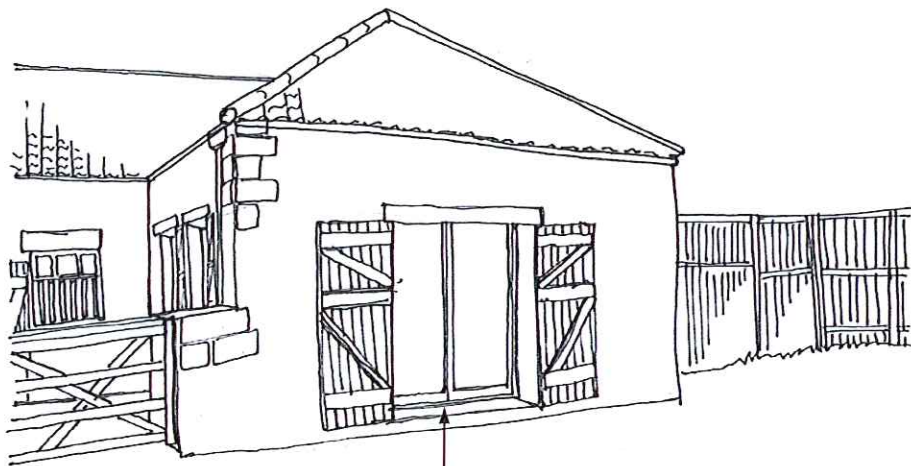
Repair to the buildings will include the suggestions made in the Bell Snoxell Building Consultant's Structural Report ref LS/8129. The trusses will be retained and be exposed as a feature of the buildings, please refer to the photograph in the Design and Access statement above.

The design uses existing openings for the windows and doors, with one additional opening to the rear of Outbuilding 2. Unightly in-fills to former door openings will be either removed and converted into long windows or functional doors or be covered by a stable type door. New window and door timber units will be installed and these will be like-for-like styles of the existing window as shown on the drawings 050 P07/P08/P09.

The roof of the buildings will not be altered apart from repair and the insertion of conservation rooflights where necessary. Internally the hipped roof timber structure will be celebrated by exposing it within the double height spaces in the kitchen and living room areas.

Impact of the proposals

The works are proposed to be a sympathetic, non-intensive conversion and repair of the buildings. Preservation of some of the key roof features of the building will add to the inhabitants' enjoyment of the buildings. Given that these two outbuildings front the main road through Newholm, it is felt that this conversion will have a positive contribution to the overall farmstead yet retain its architectural subservience to the main farmhouse. All efforts have been made to include design features that allow the buildings to become a dwelling yet at the same time minimise any domestication of the exterior. New windows and doors have been carefully chosen and designed to uphold the agricultural aesthetic of the buildings so that these proposals do not impact on the adjacent listed farmhouse. The only additional opening proposed is at the rear of the building and it is designed to appear as a void / opening with this wall and therefore be in keeping with an agricultural aesthetic. This will be strengthened by the use of stable doors either side of the new opening.



Proposed new opening to the rear of the building

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- 9 AUG 2013