

## DESIGN AND ACCESS STATEMENT

**PROJECT:** TOILET BLOCK CONVERSION INTO GAMES ROOM ANNEX  
STAINSACRE HALL  
STAINSACRE  
WHITBY  
YO22 4NT

**APPLICANTS:** MR J & MRS C COLLINSON

**DATE:** 14<sup>TH</sup> AUGUST 2013

**OUR REF:** 8115



## 1.0 INTRODUCTION

- 1.1 This Report has been commissioned by Mr & Mrs Collinson who live at Stainsacre Hall, Stainsacre, Whitby.
- 1.2 This Report has been prepared by Mr Louis Stainthorpe. Louis Stainthorpe is a Chartered Building Surveyor. He holds an Honours Degree in Building Surveying and is a professional Member of the Royal Institution of Chartered Surveyors.

## 2.0 THE PROPOSED DEVELOPMENT

- 2.1 This application is for the conversion of a detached toilet block within the residential curtilage of Stainsacre Hall into a games room annex.
- 2.2 The toilet block previously served the Hall when it was utilised as an outdoor centre with camping facilities.
- 2.3 In November 2012 a change of use application for Stainsacre Hall was approved by the North York Moors National Park Authority Reference: NYM/2012/0707/CU. This application was for the change of use of the former outdoor education centre to form a single dwellinghouse and associated domestic curtilage. The proposal is within the domestic curtilage defined on the approved plans.

## 3.0 AMOUNT

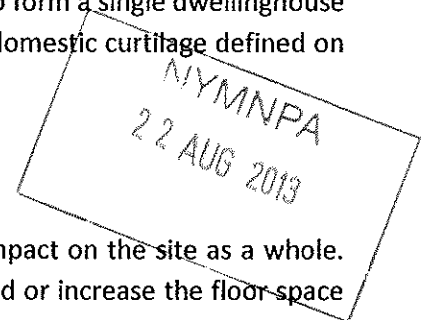
- 3.1 The proposals detailed on the drawings are minimal in their impact on the site as a whole. The building already exists and there are no proposals to extend or increase the floor space or external scale.
- 3.2 The alterations proposed are primarily to add and modify window/door openings to the exterior.

## 4.0 USE

- 4.1 The proposal is to convert the former toilet block into a games room to be used in connection with the residential occupation at Stainsacre Hall.

## 5.0 LAYOUT

- 5.1 The layout internally at the present time is set out into both men's and ladies toilet/shower facilities that would have served the previous campsite use. The proposal involves stripping out the fixtures and fittings, creating a number of new partitions to provide the lobby, games room, pool room and cinema room.



## 6.0 SCALE

- 6.1 The size of the proposals in terms of their scale set against Stainsacre Hall is very minimal. The scale/mass of the building is to be unaltered with only amendments to the existing elevations and layout.

## 7.0 LANDSCAPING

- 7.1 No significant works of landscaping are to be undertaken alongside the development. The existing pathways are to be improved to ensure they are safe with the removal of trip hazards.

## 8.0 APPEARANCE

- 8.1 The external appearance of the application building will be amended to increase the level of natural daylight to improve the functionality for games room use.
- 8.2 On the east elevation (front elevation) the window sills are to be dropped to enable the windows to be 900mm wide. The width of the windows will remain the same. The door opening that served the previous ladies/shower facilities is to be blocked up and the opening rendered to match the existing surrounding finishes.
- 8.3 The roof plan is to remain the same with no specific alterations. The main alterations will be carried out to the west elevation. This is facing down towards the wood land attached to the title of Stainsacre Hall therefore there is no overlooking or adverse impact upon any residential amenity. In terms of the wider landscape the alterations to this elevation cannot be seen as they are screened by the woodland and the changes in gradient of the surrounding land.

## 9.0 ACCESS

- 9.1 No significant access improvements are proposed for this application. There are existing pathways leading to the games room and these will be repaired/improved to remove any trip hazards.
- 9.2 As part of the change of use application of Stainsacre Hall to a residential dwelling a roadway was proposed to the north of Stainsacre Hall leading round to a garage. This is just to the east of the proposed works therefore vehicle access improvements have already been made to this section of the site.

