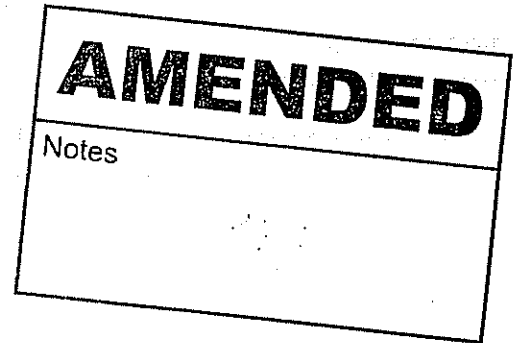


Wendy Strangeway

From: Helen Webster
Sent: 17 November 2015 12:17
To: Planning
Subject: FW: NYM/2015/0675/FL - Victoria Hotel
Attachments: 15.062.03 B - PROPOSED ELEVATIONS.pdf; Entrance Sketch - Castellated detailing.pdf; Sketch 1.pdf



From: Emma
Sent: 17 November 2015 12:12
To: Helen Webster
Subject: NYM/2015/0675/FL - Victoria Hotel

NYM
17 NOV 2015
CK

Dear Helen,

Further to your letter dated 4th November.

The existing marquee has been in place for two seasons and operated regulated music in the restaurant area until midnight in line with current licensing requirements. Breakfast is also served in the restaurant from 8am. As the proposed Orangery is an extension to the restaurant, it would be preferred if the proposed opening hours could be the same throughout i.e 0800-0000 rather than your commented 0900-2300. It is important to note that the proposed orangery construction will offer greater sound protection than the original marquee and hence the noise effects will be less felt by others.

The capacity of the orangery is to be 140 guests which is the same as that of the current marquee. There are currently 24 parking spaces for 16 hotel rooms, although it is important to note that not all of the 140 guests, the greater portion of which travel from outside the area, will stay at the hotel but will stay in surrounding b&b's in Robin Hood's Bay for a minimum of two nights (The majority of local accommodation providers adopt a two night minimum stay policy).

The existing porch with castellated detailing is to remain unaffected, with the proposed orangery built 'around' the porch. However, it is proposed to remove the gabled lean to in order to provide a new feature entrance way as discussed during the pre-application process. This new entrance could be amended to feature a similar castellated detailing to that of the stone porch as per the attached sketch. I have also attached a sketch showing (In red) where the existing castellated detailing of the stone porch is located behind the proposed orangery glazed roof.

In order to emulate the existing features, we have amended the pitched parapet over the central doors to include vertical timber detailing similar to that in the lean to gables. Glazing bars have also been shown in the upper orangery windows as requested.

Remedial work was carried out to the stability of the cliff in early 2000 and there has been no movement since that time. There is a monitor pad in the car park of the Victoria Hotel to confirm this.

If you require any further information do not hesitate to contact me.

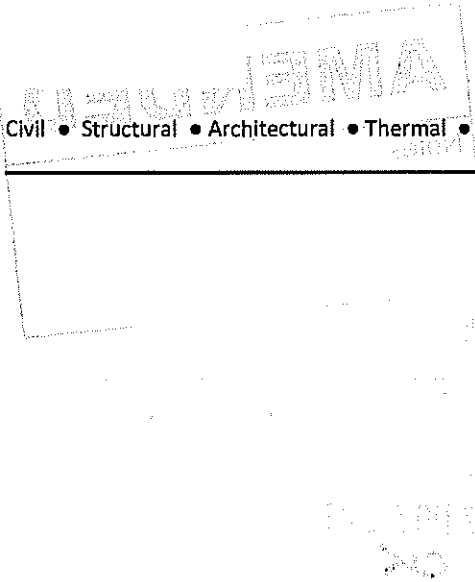
Kind regards,

Emma Taylor, BA (Hons) Arch, TCIAT

Close, Granger, Gray & Wilkin Consultancy Ltd.
Building and Engineering Consultants,
Surveyors and Architectural Technologists

28 Market Place, Guisborough, North Yorkshire, TS14 6HF

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AMENDED

Notes

FRONT - WEST ELEVATION

17 NOV 2015

AMENDED

Notes



SIDE - SOUTH ELEVATION

17 NOV 2015

AMENDED

Notes



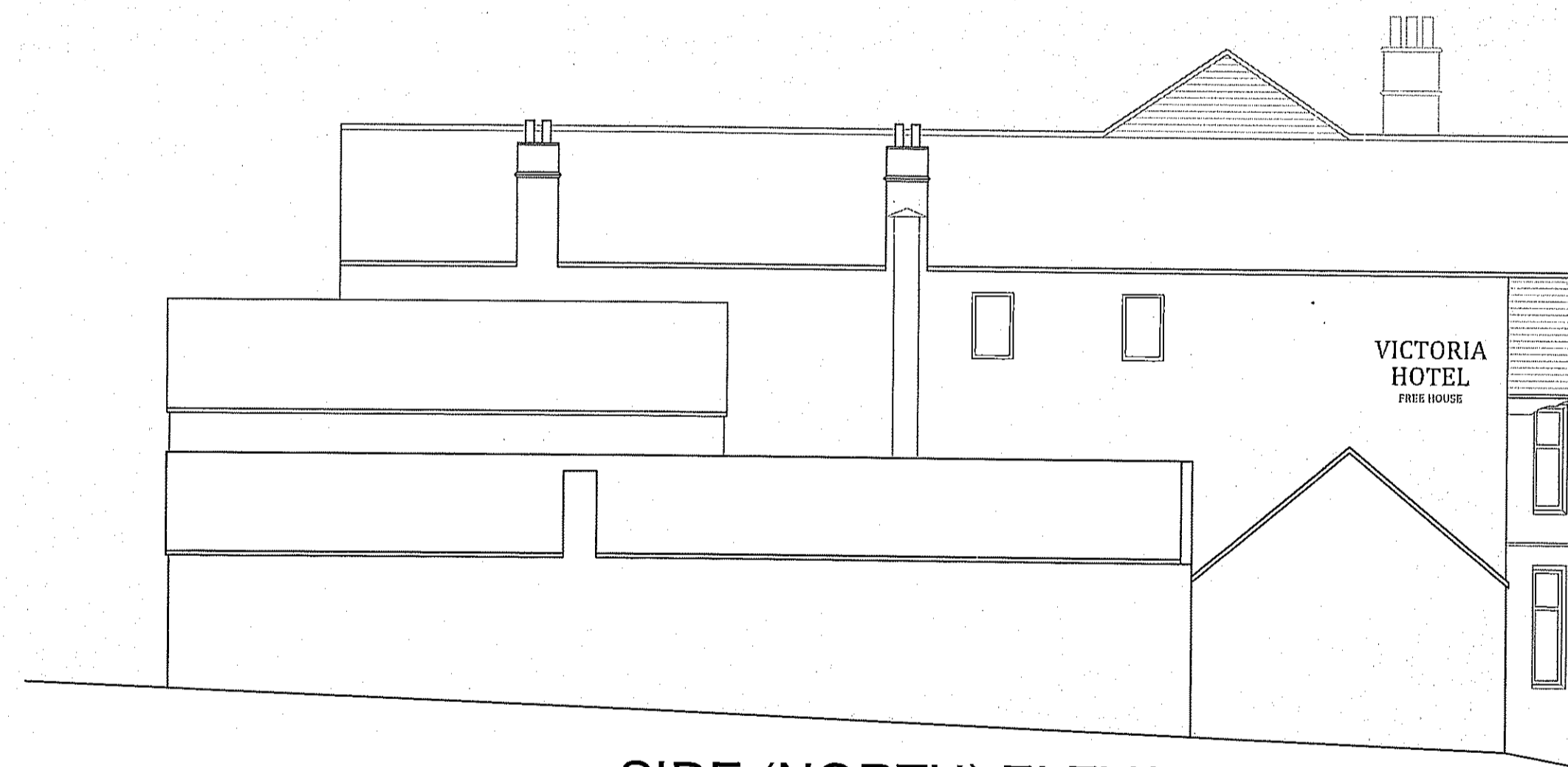
FRONT (WEST) ELEVATION



SIDE (SOUTH) ELEVATION



REAR (EAST) ELEVATION



SIDE (NORTH) ELEVATION

17 NOV 2015

No.	DESCRIPTION	CHKD	APPD	DATE
B	AMENDED TO PLANNERS COMMENTS			07/11/15
A	DESIGN AMENDED TO PLANNERS COMMENTS			13/08/15
ALTERATIONS				

PROPOSED ORANGERY TO VICTORIA HOTEL, ROBIN HOODS BAY
 ELEVATIONS AS PROPOSED

CLOSE, GRANGER, GRAY & WILKIN
 BUILDING AND ENGINEERING CONSULTANTS
 28 MARKET PLACE, GUISBOROUGH, CLEVELAND. TS14 6HF

DRAWN	TRACED	CHECKED	APPROVED	DATE	SCALE
ET				MARCH 15	1:100 @ A1

DRAWING No. 15/062/03B

All Dimensions in mm.