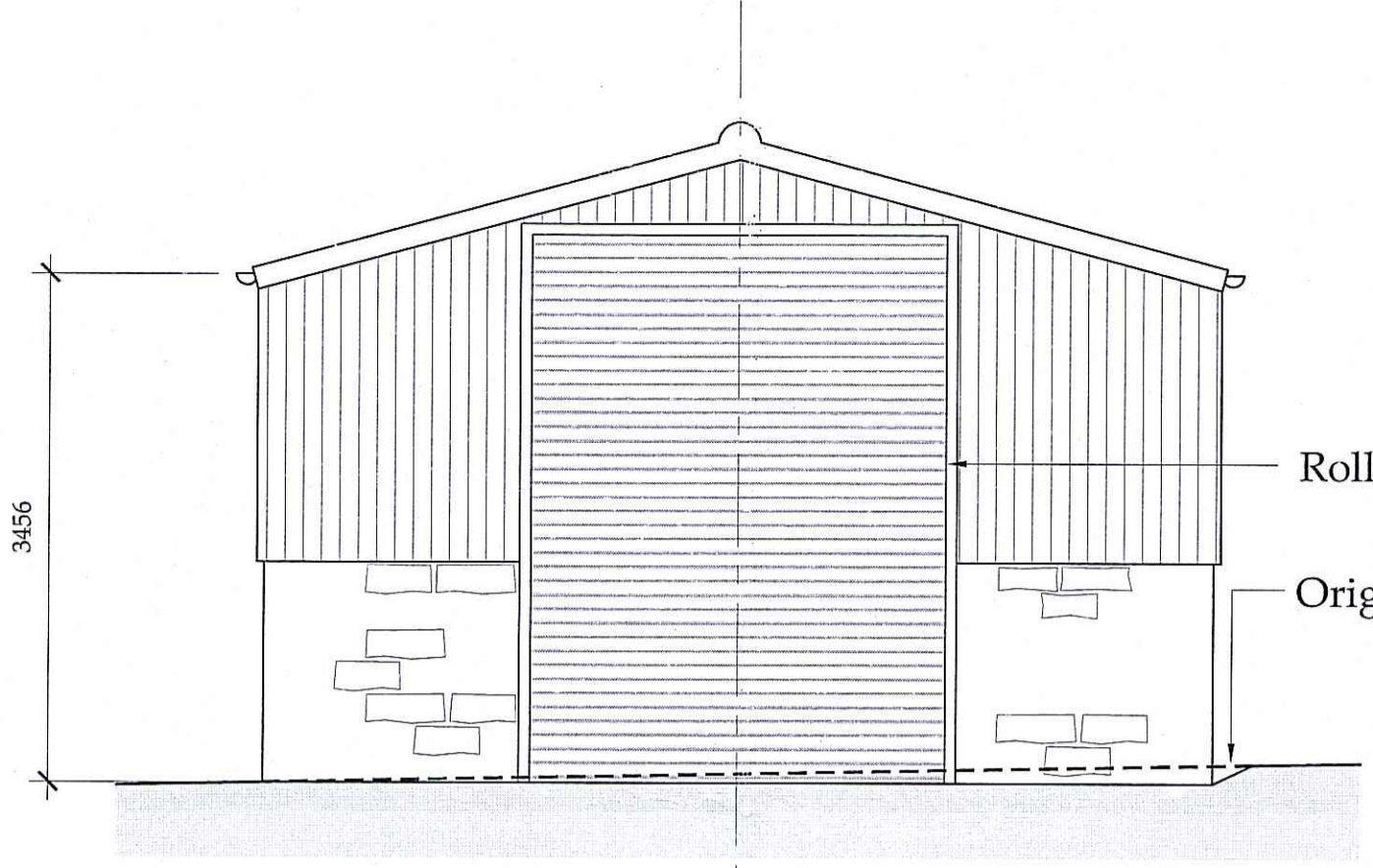
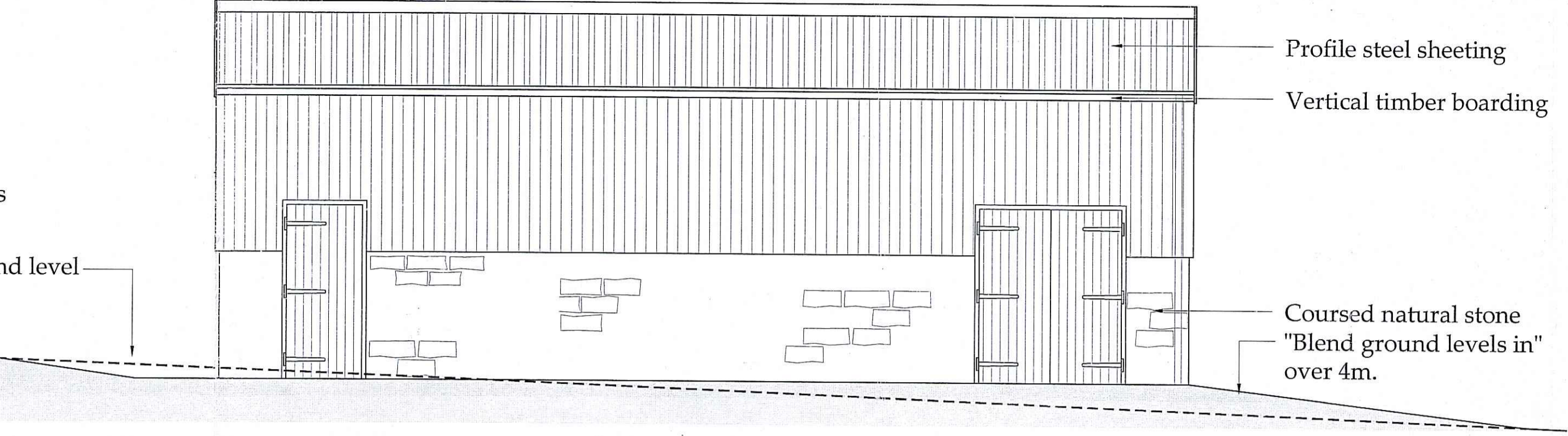


Do not scale from this drawing. Only figured dimensions are to be taken from this drawing.
 The contractor must verify all dimensions on site before commencing any work or shop drawings.
 The contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the technician is to be informed before work is initiated.
 Work within the construction (design and management) regulations 1994 is not to start until a health & safety plan has been produced. This drawing is copyright and must not be reproduced without consent of BHD Partnership Ltd.

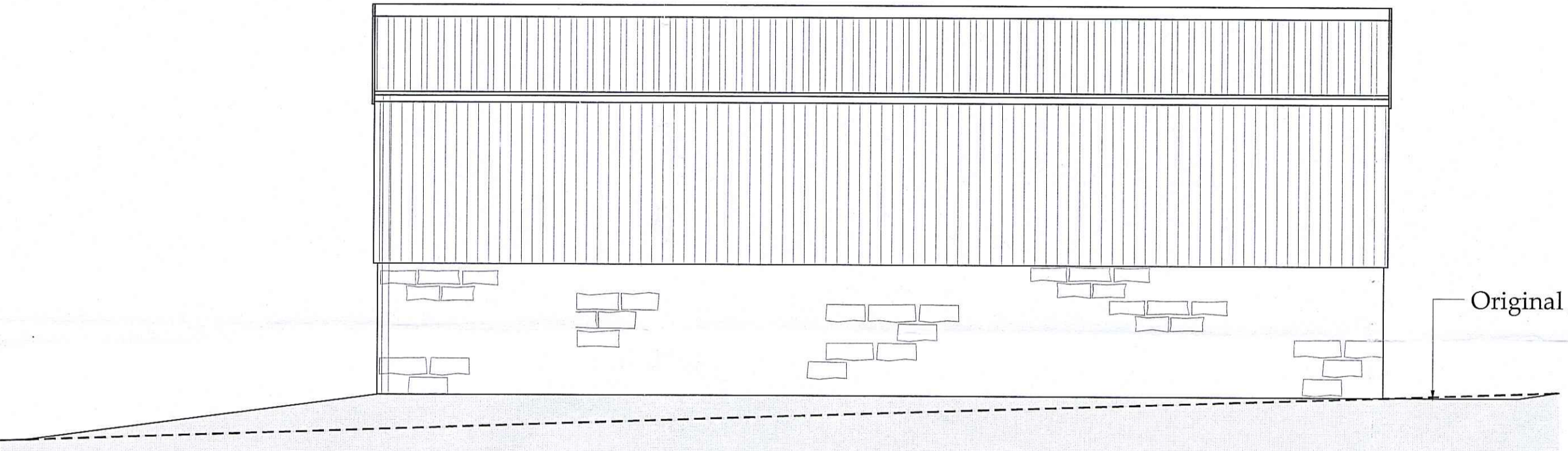


Side Elevation (East)
 SCALE: 1:50

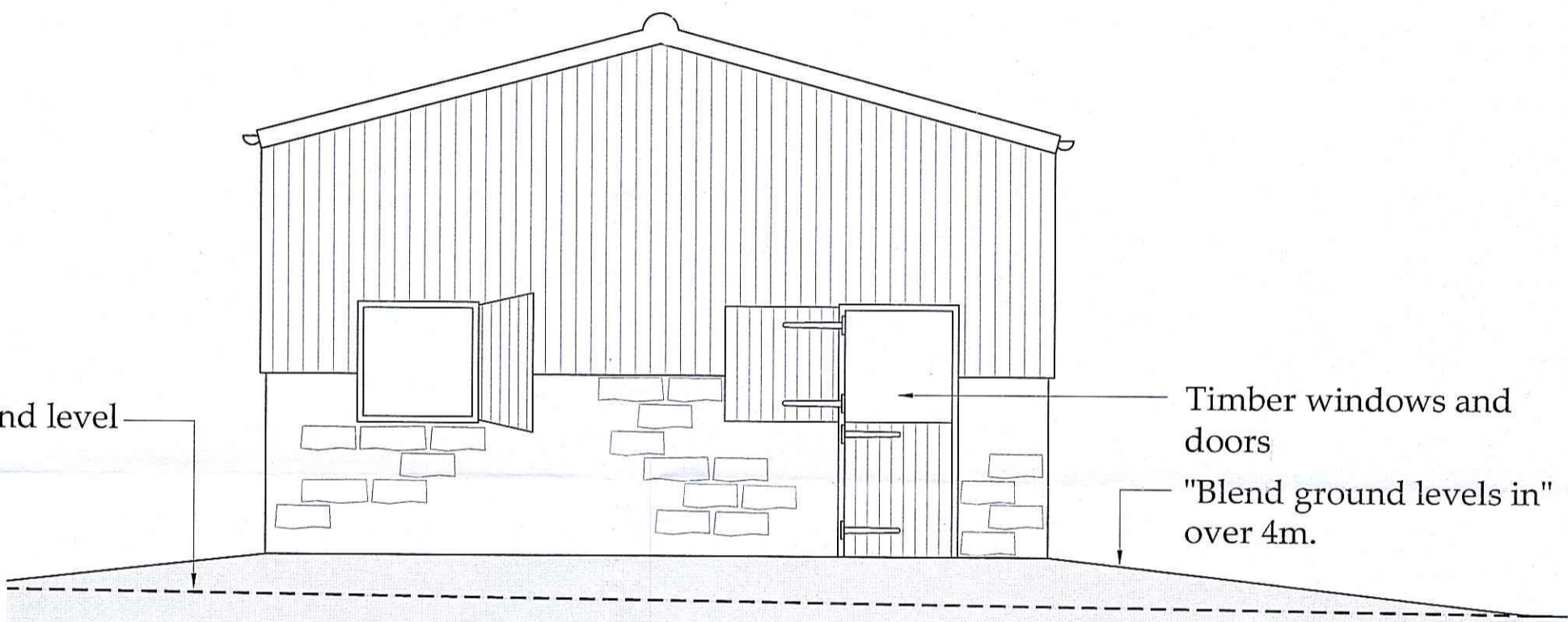


Front Elevation (North)
 SCALE: 1:50

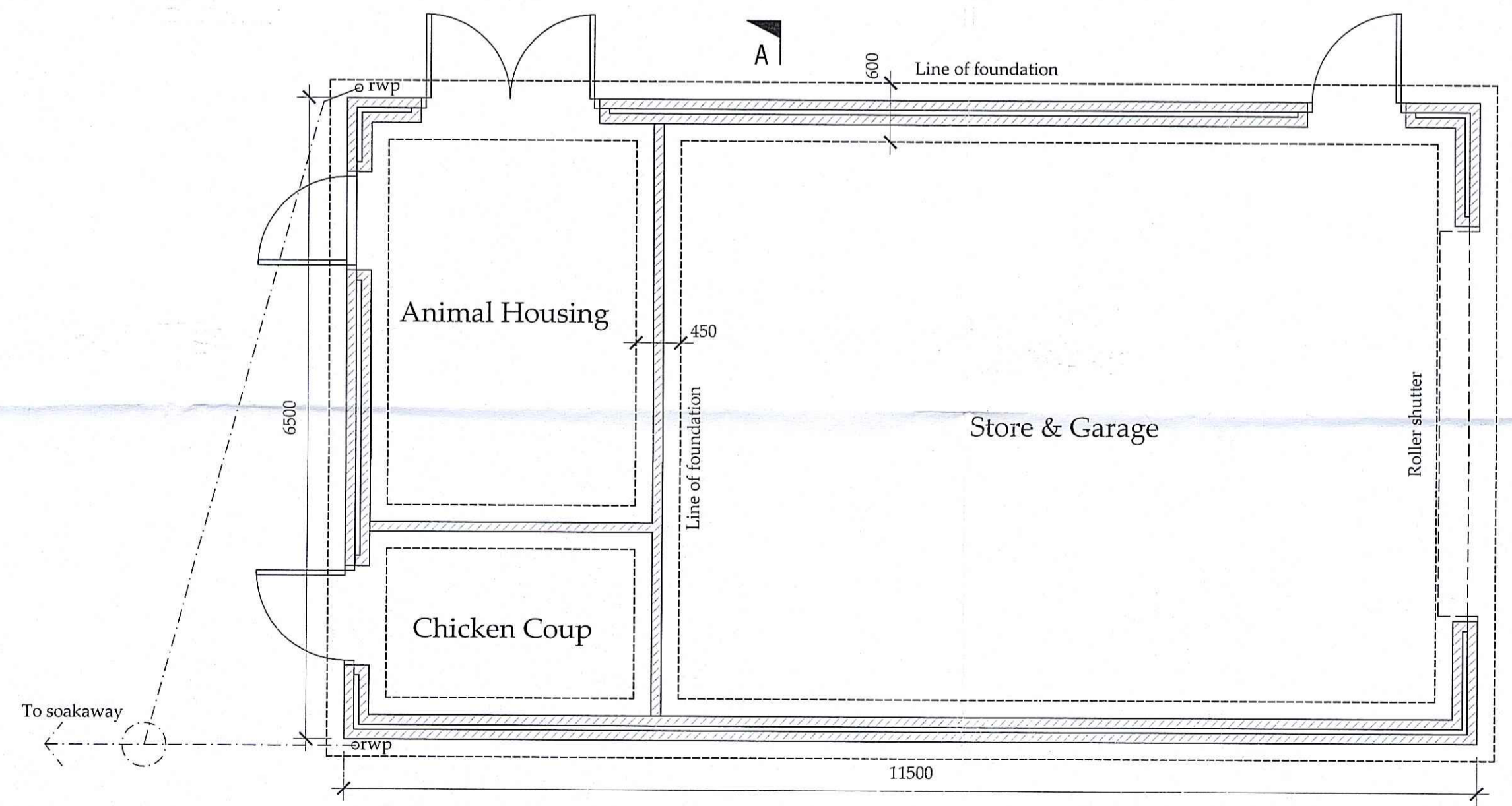
30 OCT 2015



Rear Elevation (South)
 SCALE: 1:50



Side Elevation (West)
 SCALE: 1:50



Ground Floor Plan
 SCALE: 1:50

Lintels
 Manufacturer designed steel lintels IG/ Catnic or similar over external openings, with min 150mm end bearing, all insulated and tray dpc's over same. Internal lintels in concrete or steel to suit size of openings.

Roller shutter door, powder coated, colour to suit planners. To comply with BS EN 13241-1. See structural engineers details for lintel.

Internal block walls
 100mm 7N fair faced blockwork. Painted or finish to suit client. Strip foundations 450mm wide x 450mm. Depth 900mm or to suit conditions.

Drainage
 Drainage, surface water only to soakaway.

Electrical installation
 In accordance with Part P of the Building regulations all electrical installation must be designed, installed, inspected, tested and certified in accordance with BS 7671:2001 Requirements for Electrical Installations. The 'Competent person' responsible for the electrical installation should supply these details to the Local Authority.
 The contractor is to include all necessary cables, conduits, clips and associated fittings and fixtures to complete the entire system. All sockets & lighting are to comply with all current legislation and I.E.E. Regulations. All accessible sockets and outlets to be between the zone 400mm and 1200mm, in accordance with Part M of the Building Regulations.

REV	DATE	BY	AMENDMENT
G	29/10/15	CE	Ground levels
F	07/04/15	NID/CE	Added detail and notes
E	16/12/14	NID	Replaced Block with stone
D	24/10/14	DC	Reduced size
C	21/08/14	NID	Reduced height
B	08/07/14	DC	Fenestration details amended
A	10/06/14	DC	Issued for approval

bhd partnership
 Architecture + Engineering
 Airy Hill Manor, Waterstead Lane, Whitby, N. Yorks. YO21 1QB.

CLIENT: Mr J Smith
 PROJECT: Development of Land Adjacent to Morfa Cottage, Hawsker

DRAWING: Proposed Garage Plan & Elevations

DRAWING STATUS: Preliminary

DRAWN: D.Cairns
 CHECKED: N.Duffield

SCALE & SIZE: 1:50 @ A1
 DATE: 10/06/14

DRAWING No: D10201-12
 REV: G

PROPOSED