

Town and Country Planning Act 1990  
North York Moors National Park Authority

Notice of Decision of Planning Authority on Application for  
Permission to Carry out Development

To: Mr & Mrs Ray & Helen Pattison  
c/o BHD Partnership  
fao: Mr Tim Harrison  
Airy Hill Manor  
Waterstead Lane  
Whitby  
YO21 1QB

COPY

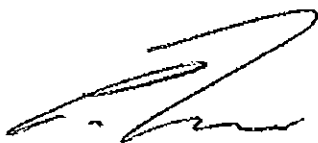
The above named Authority being the Planning Authority for the purposes of your application validated 08 September 2016, in respect of proposed development for the purposes of **construction of replacement dwelling (part retrospective) at Oakwood, Fylingdales** has considered your said application and has **granted** permission for the proposed development subject to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.
2. The development hereby approved shall be only carried out in strict accordance with the detailed specifications and plans comprised in the application hereby approved or in accordance with any minor variation thereof that may be approved by the Local Planning Authority.
3. Notwithstanding the details submitted, no work shall commence on the construction of the walls of the development hereby permitted until details of the texture and paint colour of the render, including samples if so required, have been submitted to and approved in writing by the Local Planning Authority. The materials used shall accord with the approved details and shall be maintained in that condition in perpetuity unless otherwise agreed with the Local Planning Authority. The rendering and painting shall be completed no later than one month after the development hereby permitted being first brought into use.
4. The roof tiles utilised in carrying out the development hereby permitted shall match those of the existing building unless otherwise agreed in writing with the Local Planning Authority.

**Informative**

Please note that the footpath/track situated to the north west the development site hereby approved must be kept free from obstruction and open for use at all times before, during and after any works.

Continued/Reasons for Conditions



Mr C M France  
Director of Planning

COPY

27 OCT 2016  
Date .....

TOWN AND COUNTRY PLANNING ACT 1990

Continuation of Decision No. NYM/2016/0650/FL

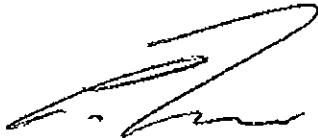
COPY

**Reasons for Conditions**

1. To ensure compliance with Sections 91 to 94 of the Town and Country Planning Act 1990 as amended.
2. For the avoidance of doubt and to ensure that the details of the development comply with the provisions of NYM Core Policy A and NYM Development Policy 3, which seek to conserve and enhance the special qualities of the NYM National Park.
- 3 & 4. For the avoidance of doubt and in order to comply with the provisions of NYM Core Policy A and NYM Development Policy 3 which seek to ensure that building materials are of a high quality and compatible with the character of the locality and that the special qualities of the National Park are safeguarded.

**Explanation of how the Authority has Worked Positively with the Applicant/Agent**

The Authority's Officers have appraised the scheme against the Development Plan and other material considerations and confirmed to the applicant/agent that the development is likely to improve the economic, social and environmental conditions of the area.



Mr C M France  
Director of Planning

COPY

27 OCT 2016

Date .....